

Cathedral Conservation Area



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Plaster bust, keystone detail 18-22 Hill Street.

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Introduction




I regard designation of the Cathedral Conservation Area as an important stage in the regeneration of Belfast. Conservation can help to promote economic revival by identifying and enhancing the architectural and historic character of the City. Awareness of the City's heritage and achievements can increase the self confidence and pride of its people and help develop an image which visitors, tourists and potential investors find attractive.

The Northside of Belfast City Centre offers outstanding development opportunities. It is for this reason that the Cathedral Conservation Area is the first of the five Conservation Areas proposed for Belfast City Centre. Conservation Area status provides a framework and a theme for the promotion of the Area.

The Department will have a rolling environmental improvement programme and is willing to work with voluntary interests which share our enthusiasm for the Area. These aspects will be brought together in an enhancement programme which will co-ordinate public action and private investment to enhance the Conservation Area.

Mr Richard Needham M.P. Minister for the Economy

MAP 1

-  Listed Buildings
-  Open Space
-  Existing Buildings
-  Car Parking and Vacant Land
-  Conservation Area Boundary



2.



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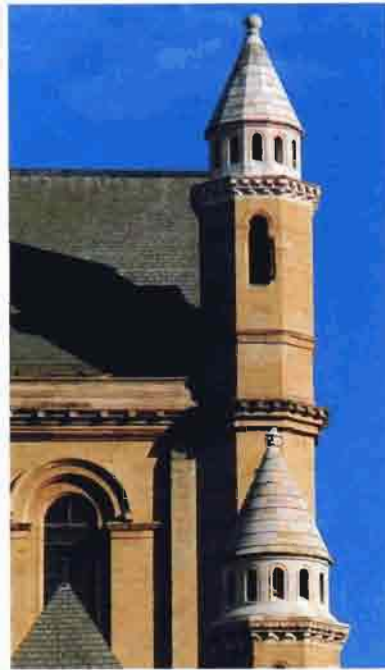
Boundaries of the Conservation Area

The Cathedral Conservation Area lies on the northern fringe of the City Centre and adjacent to the Port of Belfast. It is an area of shopping, office, warehousing and port orientated uses. At its centre is St Anne's Cathedral, the focal point of the Conservation Area.

The Conservation Area covers some 15 hectares. Donegall Place, one of Belfast's primary shopping streets, is only a short distance away and Castle Court lies just outside the boundary.

From Royal Avenue the boundary extends along North Street and Bridge Street to High Street. It follows High Street to Victoria Street and then Victoria Street and the Dunbar Link to York Street. It returns along York Street to Royal Avenue which it follows back to the North Street junction.

The Conservation Area enjoys a preserved street pattern partly dating from the 17th and 18th Centuries and a significant number of buildings of considerable merit which mark the transition of Belfast from a small port to an internationally important commercial city.



1. St Anne's Cathedral, Donegall Street.
2. Central tower on the Newsletter Offices.
3. Education and Library Board Offices.
4. Forster Green's building on the corner of Royal Avenue and North Street.

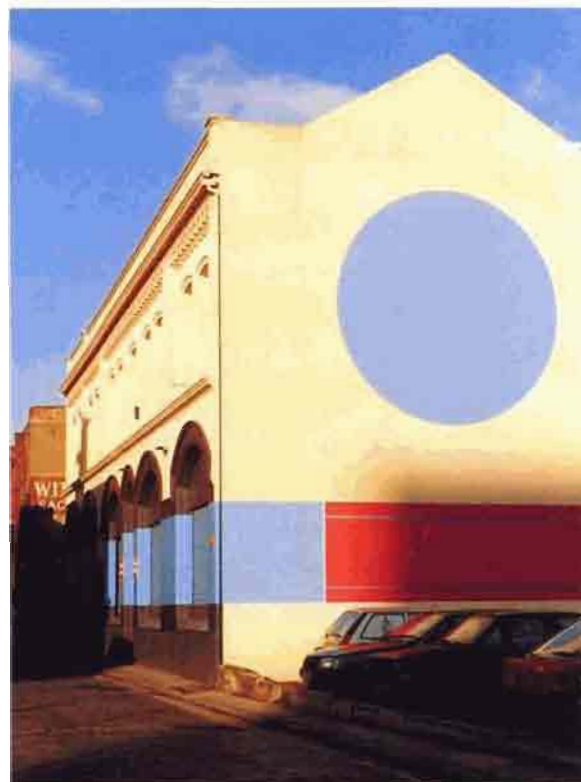


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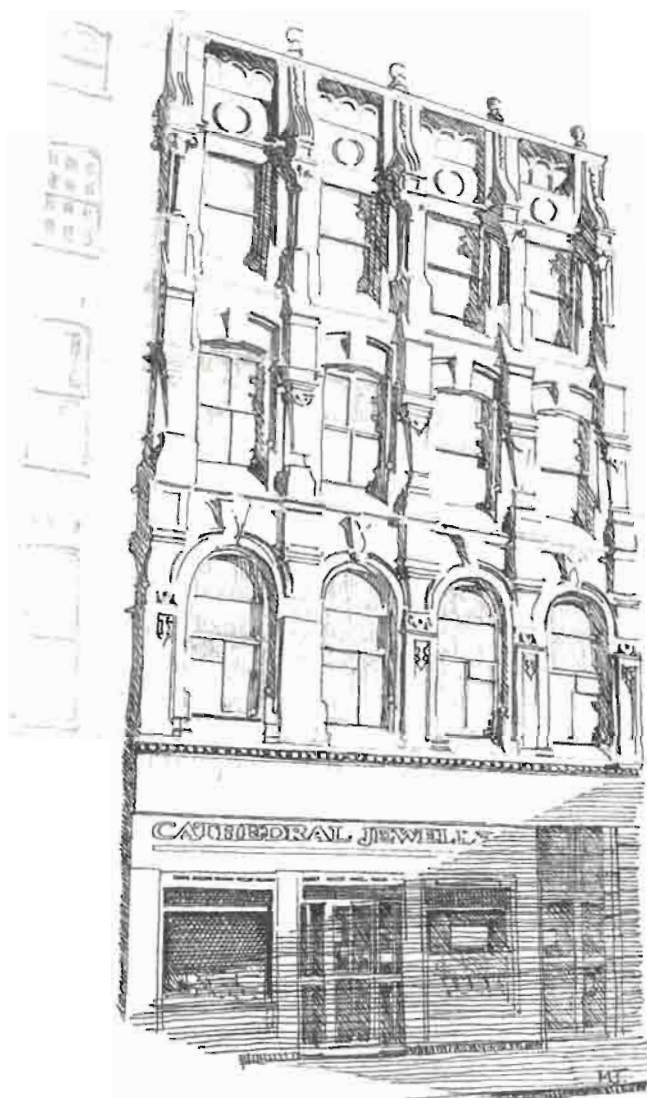
Planning Context

The Belfast Urban Area Plan 2001 emphasises the importance of the City Centre to the Urban Area as a whole and sets out a number of policies to promote its economic revitalisation. These policies recognise the importance of architectural heritage and historic townscape in fostering civic pride and a positive image for the City.

The Plan identifies Northside, the area north of Castle Junction centred on St Anne's Cathedral, as an important revitalisation opportunity. It proposes a variety of different land uses, including residential. Selective rebuilding, major refurbishment and environmental works will assist the physical and economic regeneration of this part of the City Centre.



1



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Major initiatives for Northside include:-

1. the development of Castle Court as a major shopping development to restore both the area's retail base and private sector confidence in future prospects;
2. the creation of a major open space fronting St Anne's Cathedral to enhance the North Street area and provide more open space in the City Centre;
3. designation of the Cathedral Conservation Area.

1. Stucco rendered Victorian warehouse 5-23 Hill Street.
2. 3 Donegall Street, Victorian façade 1867.
3. Plaque detail on Newsletter Offices facade.
4. Newsletter Offices, Donegall Street.

Designation

Within the Department's overall objectives for the regeneration of Northside, the Department's policy will be to:-

1. protect and enhance the essential character of the Cathedral Conservation Area and encourage the retention, rehabilitation and re-use of existing buildings wherever possible;
2. encourage growth and change which is in sympathy with the character and appearance of the Conservation Area;
3. promote the commercial benefits of investing in the Area.

To be effective conservation needs the active participation of a wide range of interests within the community. In this respect the involvement of The Civic Trust, The University of Ulster and the Cathedral authorities, in promoting interest in the Cathedral Area and in making proposals on its possible development, is worthy of particular mention.

Notice is hereby given that the Department of Environment (NI) in pursuance of powers conferred upon it by Article 37 of the Planning (NI) Order 1972 has designated the area indicated on map 1 as a Conservation Area being an area of special architectural or historic interest, the character of which it is desirable to preserve and enhance.

A map of the designated Area has been deposited at the Belfast City Council Offices, Belfast Divisional Planning Office, and the Belfast Development Office at the addresses indicated below:-

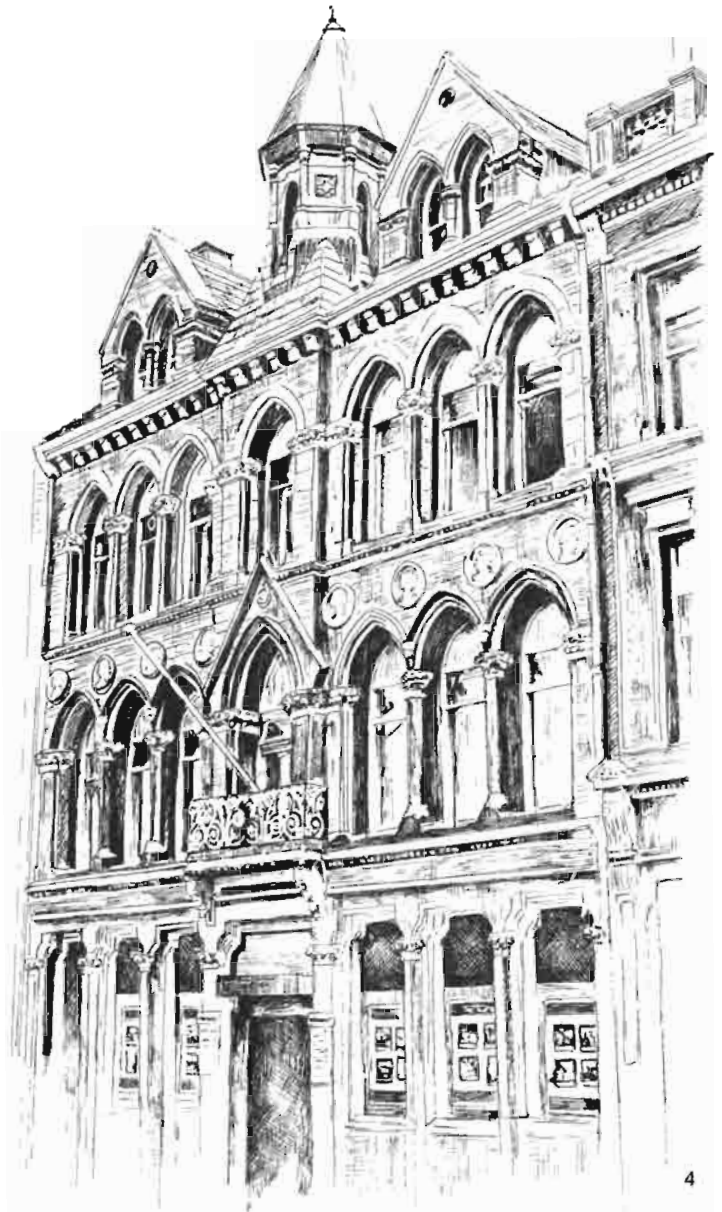
Belfast City Council
City Hall
Donegall Square
Belfast BT1 5GS
Telephone: Belfast (0232) 320202

Belfast Divisional Planning Office
Bedford House
16-22 Bedford Street
Belfast BT2 7FD
Telephone: Belfast (0232) 242486

Belfast Development Office
Clarendon House
9-21 Adelaide Street
Belfast BT2 8DJ
Telephone: Belfast (0232) 244300



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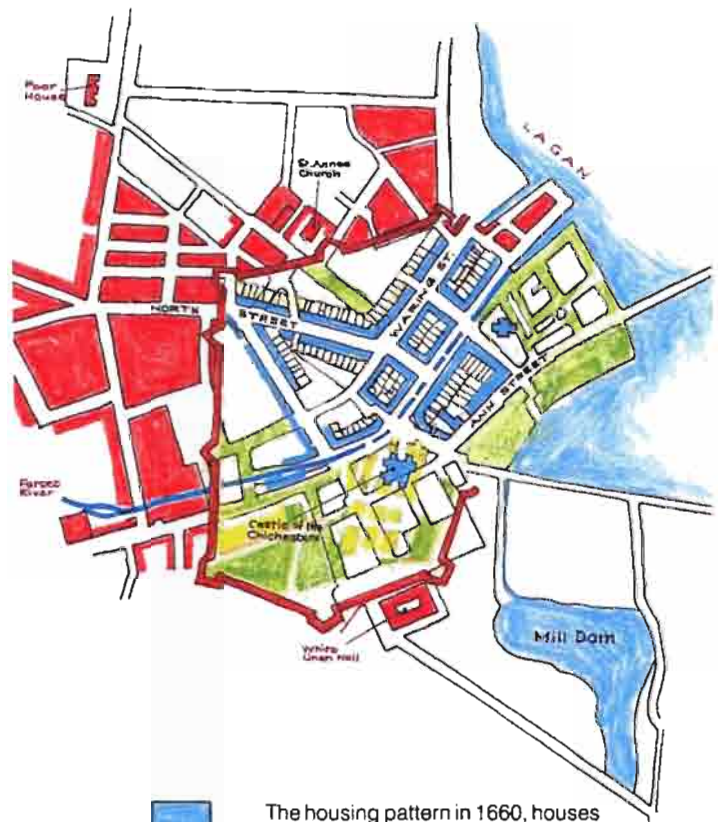
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Historical Note

Origins

In the 17th Century the Farset River, spanned by bridges at Church Lane, Skipper Street and Bridge Street, flowed down the middle of High Street to the town quay and the River Lagan. At the other end of High Street on the present Cornmarket corner stood the Market House and nearby, set within its walled gardens, the Castle of the Chichesters.

In the 1680's 67 ships operated out of the port. Trade was extensive with France, Spain and the Americas. Tanneries abounded in every street. Broad Street was renamed Waring Street after Thomas Waring of Waringstown who transferred his tannery to Belfast in 1660. George McCartney who arrived in 1640 became Town Sovereign and one of its richest traders exporting to Holland and France. He introduced sugar refining and opened premises in Waring Street. By 1683 sixty tons of sugar were being processed each year. The industry had disappeared by the mid-18th Century leaving the name Sugarhouse Entry, which today is the only remnant of the older street pattern between Waring Street and High Street.

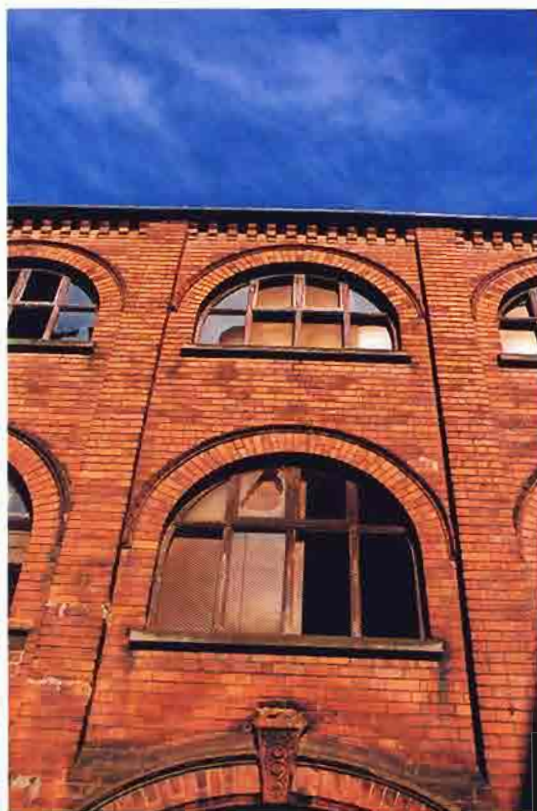


-  The housing pattern in 1660, houses generally timber framed, each one had its own strip of land to the rear.
-  Earth ramparts were a necessary provision against attack in the 17th Century.
-  Allotments and gardens were within the town's fortifications.
-  By 1791 the town had spread out beyond the line of the earth ramparts. (Within the original settlement housing was redeveloped together with the new building blocks, shown in outline).



- 1 Newsletter post boy masthead.
- 2 Northern Bank, Waring Street formerly the Exchange Building.
3. Victorian brick warehouse and keystone detail, 51 Hill Street.





3

Throughout the period up to the mid-18th Century population growth within the town was accommodated by building over much of the earlier garden and open areas to the rear of the main streets. Many of the irregular garden paths linking High Street with the other main streets became narrow entries. Small shops and public houses were built on either side and smaller alleyways led to the densely packed housing of the poorer inhabitants.

Eighteenth Century Town Planning

In the second half of the 18th Century Belfast experienced a substantial period of new growth. The 5th Earl of Donegall commissioned the building of a new single storey arcaded market house, known as the 'Exchange', at the Four Corners in 1769 and seven years later added an upper floor to form the Assembly Rooms. This was designed by Sir Robert Taylor, then the most distinguished exponent of Palladian style in the country and Architect of the King's Works. Today the Exchange, now the Northern Bank, still stands at the apex of Donegall Street and North Street and is Belfast's oldest public building. The Earl also con-

tributed the eight acre site on which Clifton House, the Poor House, was erected in 1774. The rest of the cost was borne by public subscription. Clifton House now closes the vista at the northern end of Donegall Street, itself the Earl's most substantial exercise in town planning.

The 5th Earl of Donegall's town planning schemes have had a lasting effect on the City Centre. In the Conservation Area the building of the Exchange and Assembly rooms in close proximity to a new Brown Linenhall (now demolished), the new parish church of St Anne and the new Donegall Street consolidated the commercial and social importance of the area centred on the Four Corners. By the 1850's this Waring Street/Donagall Street area was the undoubted commercial centre of the town.

The current University and Education Board uses in the Academy Street area can be traced back to the earliest days of Donegall Street. In 18th Century Belfast David Manson was far ahead of the times in providing equal education for boys and girls and in emphasising the value of enjoyment and play in education. He built a school in Donegall Street in 1768. In 1786 the Presbyterians followed his example and built the Belfast Academy at Academy Street 'in which the sons of gentlemen who could not conveniently send them to college might receive a liberal education'.*

* In Bardon J., *Belfast. An Illustrated History*

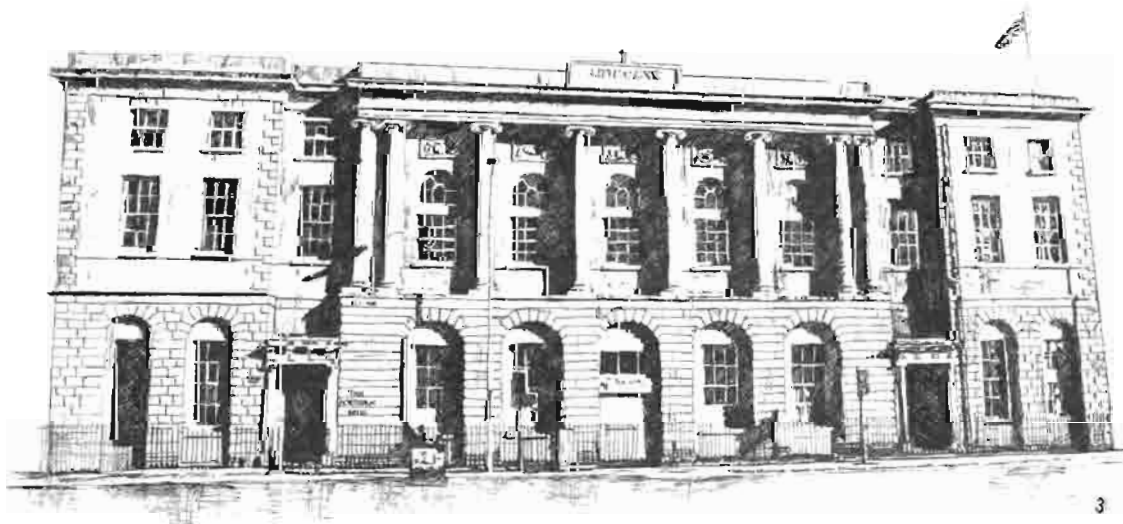




2.

In the first half of the 19th Century the cotton industry boomed. In Donegal Street the last major townscape element was added to the scene with the construction of the Commercial Buildings now Northern Whig House, in 1822. This well proportioned granite building provides an attractive visual stop to the southern

end of Donegal Street. Its purpose was to replace the Exchange building on the opposite corner as the commercial hub of the town. Built by John McCutcheon who was the contracting architect for the project, it included hotel, newsroom and piazza for merchants.



Victorian Exuberance

The burst of building activity on the Lagan side of the town centre following the filling of the town docks and Queen Victoria's visit in 1849, extended into the Conservation Area with the building of the Ulster Bank, Waring Street. Banks then were moving away from a more disreputable image towards solid respectability. The building is an impressive and exuberant Italian-romantic variation on the classical theme. The Exchange Building was similarly upgraded for banking use. It was reconstructed externally in 1845 by Lanyon and internally in 1895 so that the original is now totally obscured from view.

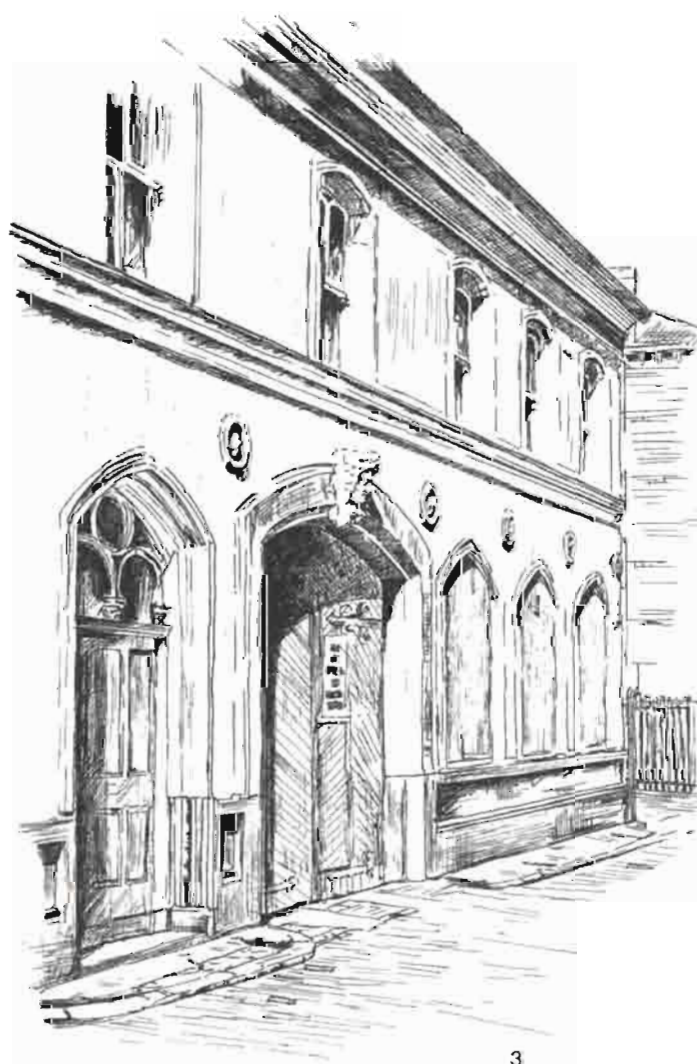
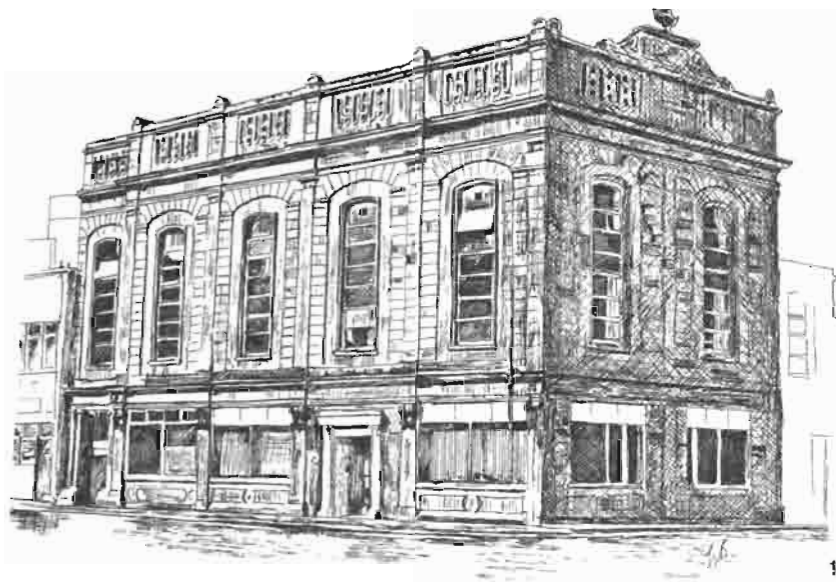
By 1880 the Four Corners was at the heart of an increasingly self-confident town. Property along Donegall Street and Waring Street was occupied by a large variety of small commercial uses. These included milliners, tailors, estate agents, shipping agents, shops, manufacturers, stationers, solicitors, newspapers, printers and many more.

The area behind Donegall Street and Waring Street was however a warren of crooked alleyways, courts and lanes containing the oldest and poorest residential quarter of the town. Much of this housing was gradually cleared and the area given over more and more to warehousing, stores and particularly bonded warehouses. 5-32 Hill Street, a bonded warehouse built for the Bushmills Distillery, is a fine example of a small warehouse typical of the area.



1. Exchange Place.
2. The corners of buildings were often protected from cart wheels by a projecting stone or iron fender. The upturned cannon barrel and fluted iron cone can be found at either end of Exchange Place.
3. Northern Whig Building, Waring Street, formerly the Commercial Buildings.
4. Highly ornamented cast iron balustrade – Ulster Bank, Waring Street.
5. Ulster Bank – Waring Street.





The Victorians were no respecters of Georgian architecture. Progressively through the century most of Donegall Street was rebuilt. A number of linen warehouses were built in the vicinity of the Brown Linenhall. None of these remain apart from the figured panel on the Donegall Street frontage of the 1930's North Street Arcade. This was saved from the old Brookfield linen warehouse which previously occupied the site. 1 Donegall Street, opposite the Exchange, was built in 1871 by T. Jackson and Son. It is rather ordinary compared to the much more noticeable High Victorian façade of No. 3 built by W. Hastings in 1867. T. Jackson also built the Corn Exchange on the corner of Victoria Street and Gordon Street in 1851.

The News Letter and General Advertiser was first opened in Bridge Street in 1737 by Francis Joy 'under the Sign of the Peacock'.* The business moved to Joy's Entry at High Street before returning to Donegall Street in 1872 with the erection of a High Victorian Gothic Chateau type building by W. Hastings at 51-59 Donegall Street.

The last quarter of the 19th Century saw the clearance of Hercules Street and the creation of Royal Avenue, a fine new thoroughfare befit-

ting a Belfast which achieved city status in 1888. Royal Avenue between North Street and Donegall Street retains much of the Victorian frontage, most notably Lanyon's Northern Bank and the adjoining four-storey Forster Greens building with its ground floor shops built on the North Street corner by T. Jackson & Son.

The centrepiece of the 5th Earl's Donegall Street had been St Anne's Parish Church. It was decided in 1896 that it should be the site of St Anne's Cathedral. Thomas Drew and W. H. Lynn were chosen as architects but Lynn withdrew and agreed to advise generally on the project. Work has continued throughout this century with the original proposal much changed in the process.

* Newsletter 250th Anniversary Souvenir Edition.



Today

In the 20th Century the centre of commercial activity has moved away from the old town centre and the Four Corners is no longer the hub of the City. North Street remained a very busy shopping street until the 1960's and contains buildings dating from the 1880's to the 1970's. High Street was badly damaged by the blitz in 1941 as was Donegall Street. In High Street only the Bank of Ireland, built by W. Batt in 1893-7, remained intact. This attractive building, finished in red brick and buff terracotta crowned with a mansard roof and turrets, testifies to the sturdy workmanship of the Victorians. The adjoining Imperial Buildings on the corner of Skipper Street were rebuilt from the 2nd floor up after the same 1941 air raid.

The Cathedral Conservation Area is now poised for a new era of development as the commercial core of Belfast expands. But whatever the future holds for this part of Belfast it will continue to recall the 17th Century in which it had its origins. It will carry with it the 17th Century pattern of entries and streets and the names of Belfast's prominent early citizens into the 21st Century. In this way the Area will always have a distinctive character of its own adding additional interest and charm to the City Centre.



1. Former Corn Exchange – Victoria Street.
2. Ornate lamp standards outside the Ulster Bank, cast by Laidlaw of Glasgow.
3. Stucco rendered Victorian warehouse, 18-22 Hill Street.
4. Bank of Ireland – High Street.

Land Use Character

There are three main land use areas in the Cathedral Conservation Area:—

1. The shopping area

This extends northwards from Donegall Place and runs from Royal Avenue through North Street and Bridge Street to High Street. Buildings are generally three to four storeys in height with a retail ground floor use. In North Street at the Bridge Street end there are considerable signs of investment and redevelopment. The number of vacant properties has dropped dramatically.

2. The retail service area

Between North Street and Donegall Street there is a transition to retail service and small business uses in Donegall Street, Waring Street and the part of High Street within the Conservation Area.

In Donegall Street there is a concentration of vacant property at the Waring Street end although most of the ground floors are occupied.



2

- Shopping Area
- Retail Service Area
- Warehouse and Small Business Area
- Public Buildings
- Open Space
- Car Parking and Vacant Land



The buildings in Waring Street between Donegall Street and Hill Street have been demolished. Little new development has taken place in recent years in this general area though there is a growing interest in development opportunities.

3. The warehouse and small business area

This is located east of Donegall Street and extends to the Dunbar Link. Here the land uses are more fragmented and small scale with warehouses, stores and depots fronting onto narrow streets. This reflects the area's traditional role as a mixed residential and commercial district supplying services to both the City Centre and to the Port.

In Hill Street building heights generally range from one to three storeys. While property tends to be in poor condition and there are many small sites used for private car parking, the evidence suggests a growing interest in redevelopment and refurbishment of property for new uses. Car parking is a more widespread land use in the general area of Talbot Street and Dunbar Street and on the vacant land at Waring Street.

Behind St Anne's Cathedral at Edward Street are the remnants of a more extensive housing and small business area. A small derelict terrace remains but much of the surrounding area is cleared land used for car parking.

At York Street the bomb sites of World War II provided land for the campus of the University of Ulster and the associated open space beside St Anne's Cathedral.



3.



4.

1. St Anne's – viewed from The Buoys area.
2. The Buoys.
3. Victorian Shop – 11 North Street.
4. Cathedral Buildings, Donegall Street.



Pedestrian Movement

Pedestrian traffic is heaviest along the main streets on the boundaries of the Conservation Area. Within the Area north south movement is possible along Skipper Street and Hill Street between High Street and St Anne's Cathedral. From here the most direct route to York Street is through The Buoys open space though further north Curtis Street leads directly to the Co-Op Building.

East west movements are accommodated between the Cathedral and the Dunbar Link by Talbot Street and Academy Street. Commercial Court and Exchange Place provide similar access to Hill Street and Dunbar Street via Gordon Street. Movement from Donegall Street to Royal Avenue is along Church Street, North Street Arcade and Lower Garfield Street.

The Department has proposed an open space in front of St Anne's Cathedral. This will be linked to Royal Avenue by Lower Garfield Street which will be pedestrianised. To the east there is a need to improve access to Lagan side

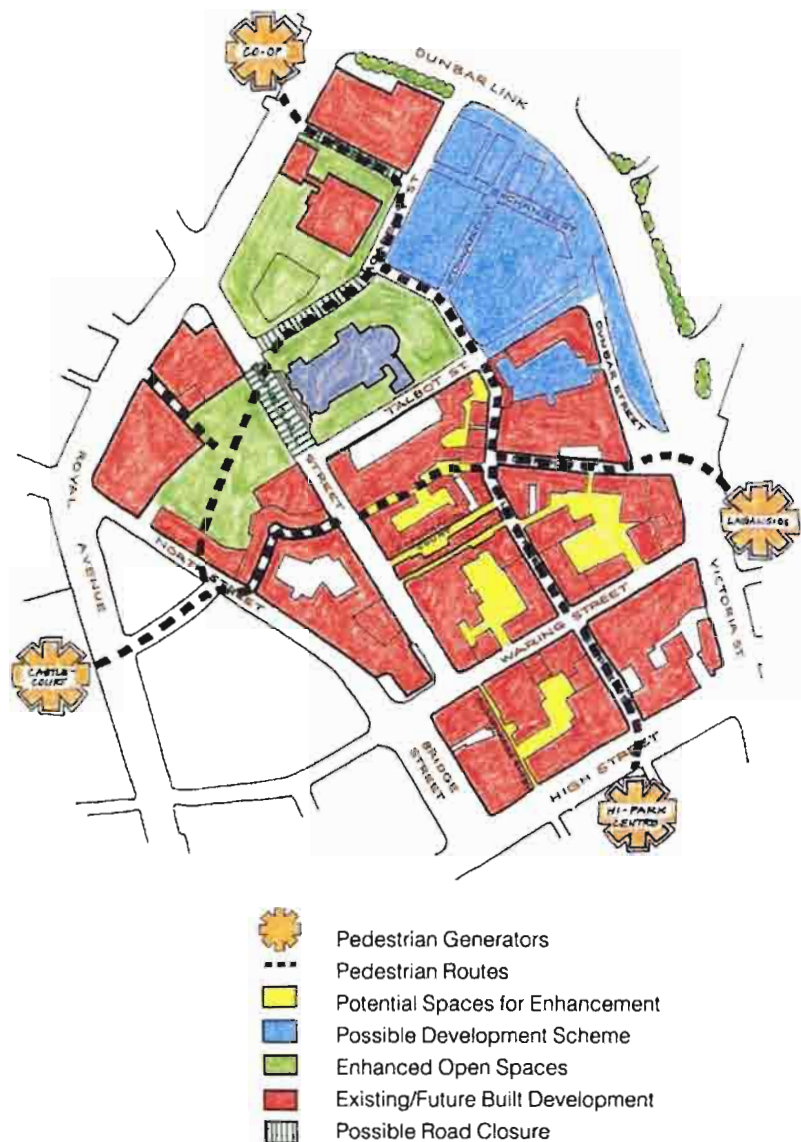


across the Dunbar Link and to improve the environment along this boundary of the Conservation Area. Environmental improvement is also desirable at the Hill Street/Waring Street junction where temporary car parks make this street unattractive to pedestrians coming from High Street.

Within the Hill Street area there are opportunities to expand the network of entries and courts which run between Donegall Street and Hill Street. The Hill Street/Gordon Street/Waring Street block offers particular opportunities because of the amount of under-used land within it and the existing network of private accesses linking these areas.

Traffic and Car Parking

A substantial amount of land in the Conservation Area is used for car parking. The scattered nature and small size of sites is indicative of the Area's economic decline. However as regeneration of the Conservation Area is achieved these sites will be redeveloped and at the same time the need for car parking will grow. Limited car parking will be considered on redeveloped sites as will the possibility of multi-storey car parks in appropriate locations.



1. Waring Street – view towards the Four Corners.
2. The Faculty of Art & Design.
3. The wide Dunbar Link flanked by car parks, dissipates the Conservation Area's visual edge.

Enhancement Strategy



1

The Department's Enhancement Strategy within the Cathedral Conservation Area is based on:—

1. its historic and architectural character
2. the potential for regeneration in existing buildings, land uses and townscape.

and aims to:—

1. bring derelict or underused land and buildings back into economic use
2. encourage a variety of new land uses including offices, small scale retailing, cultural and recreational.

Subject to the availability of resources the Department will promote environmental improvement, encourage private development initiatives and where appropriate consider the use of its comprehensive development, pedestrianisation and other powers. The Department would also welcome working with voluntary groups interested in the Area.

The Conservation Area includes several distinctive features. It is proposed to implement the strategy on the following locational basis.

1. The Cathedral Environs
2. Edward Street/Dunbar Link
3. Hill Street/Gordon Street
4. Waring Street/Skipper Street
5. The Four Corners

1. The new Castlecourt shopping complex in Royal Avenue.
2. Open space proposals viewed from North Street.
3. The visual upgrading of The Buoy's area will be part of the Cathedral's open space proposals.

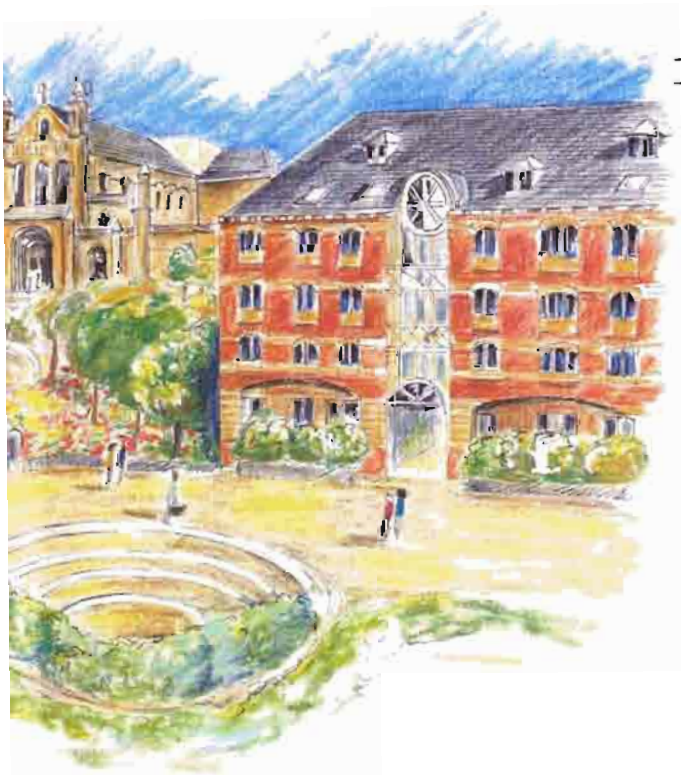




3



-  Enhancement Opportunities
-  Important Development Sites
-  Potential Spaces for Enhancement
-  Pedestrianised Treatment
-  Enhanced Open Spaces
-  Existing Buildings
-  Residential and Commercial
-  Car Parking
-  Commercial



2

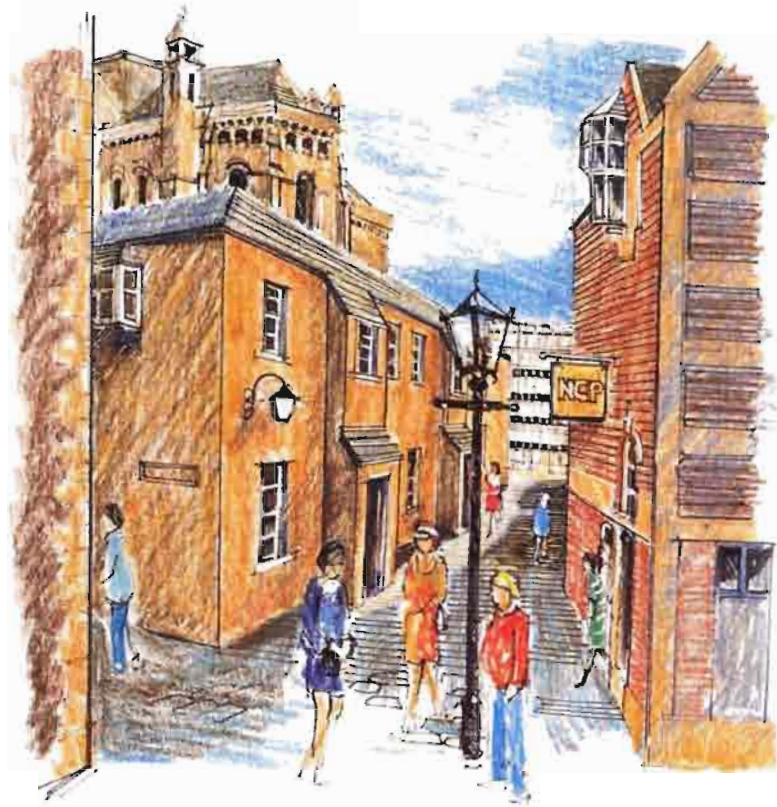
Enhancement Strategy



1. Potential pedestrian link behind the Cathedral along Exchange Street West.
2. Modern development which respects the traditional patterns and materials found in the area.
3. Pedestrian access from The Buoys area to the open space fronting the Cathedral.



2



1. The Cathedral Environs

St Anne's Cathedral performs an important function within the City as a focus for community and cultural activity. The Cathedral and the open spaces around it also offer an important opportunity to improve the quality of townscape in the City Centre.

The Department will:-

1. consider the possibility of closing Academy Street and Donegall Street in front of the Cathedral thereby linking the proposed open space fronting the Cathedral with the existing spaces around it and enhancing the Cathedral setting;
2. facilitate the erection of buildings in appropriate locations which complement the open space;
3. consider the environmental improvement of buildings and spaces around the Cathedral;
4. encourage activities and events within the Cathedral open space to attract pedestrians into the Area and give it life and vitality.

Private interests will also be encouraged to renovate buildings and to redevelop sites overlooking the proposed open space at Donegall Street and along the Church Street boundary of the proposed open space.

-  Enhancement Opportunities
-  Important Development Sites
-  Potential Enhancement Spaces
-  Pedestrianised Treatment
-  Enhanced Open Spaces
-  Existing Buildings
-  Residential and Commercial

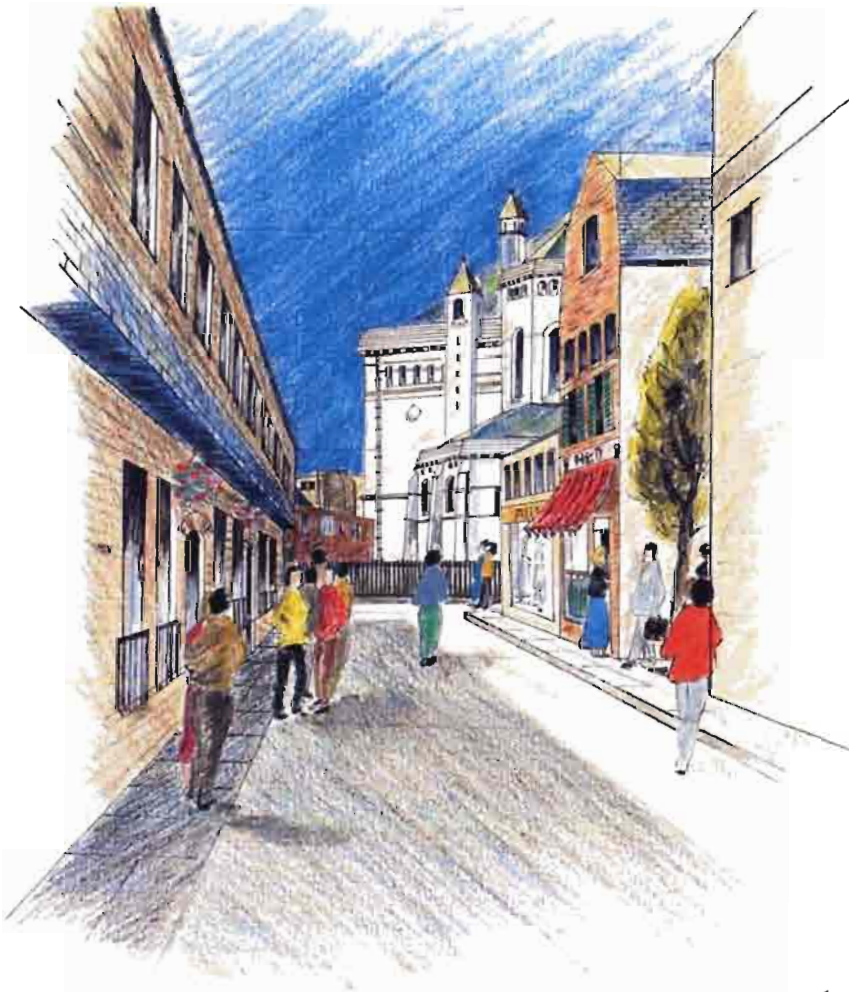
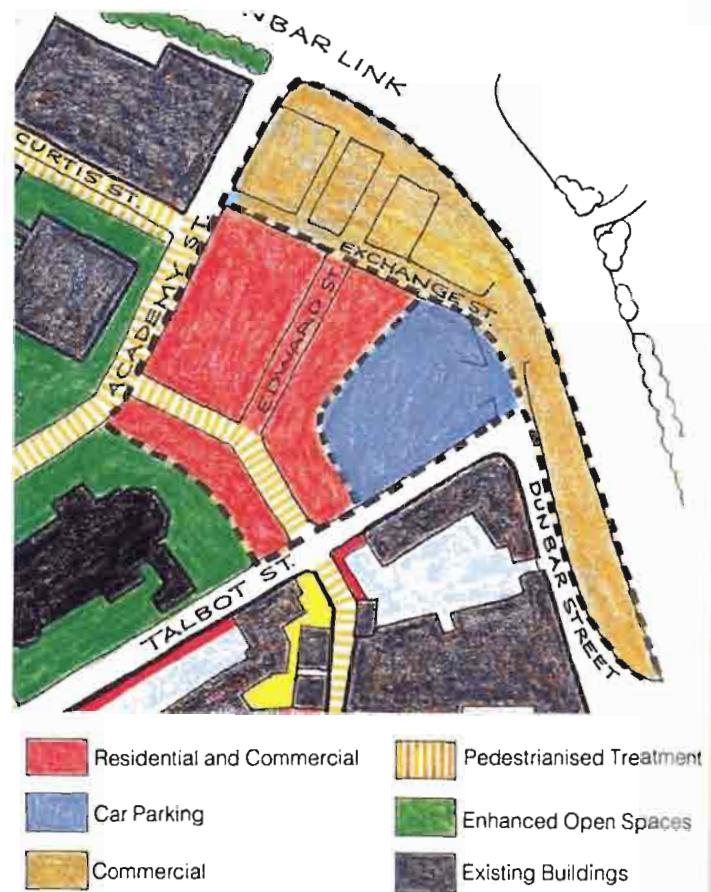


2. Edward Street/Dunbar Link

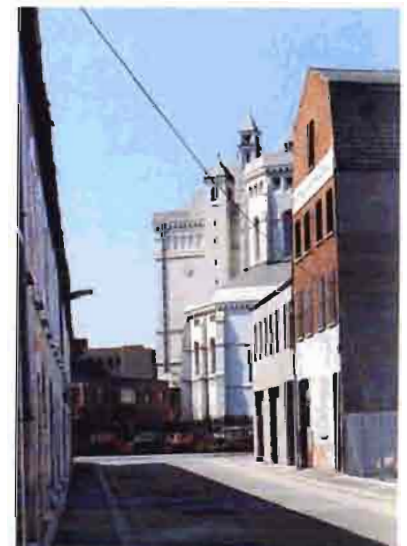
In the Edward Street area the original domestic scale buildings, the variety of land uses and the previous residential environment provide a guide for new development. There has already been interest in developing parts of these lands for housing, student accommodation and workshops. Existing businesses are also interested in redevelopment and the area has potential for a range of specialist shopping and related business activity.

Beyond Edward Street the Dunbar Link defines the eastern boundary of the Conservation Area. The road and associated car parks form a wide expanse of unattractive open land. Pedestrian movement across the road to the future Laganside Area is difficult and the general environment is in need of improvement. However the road also provides an important access to the Conservation Area from the main City Centre road system.

The Edward Street area presents a number of opportunities for enhancement.



1. Edward Street is the most suitable part of the Conservation Area for residential development. The Department will actively encourage a range of housing types appropriate to the area's City Centre location.
2. A small multi-storey car park with a range of ground floor uses would help regenerate this area. The car park could be located at Talbot Street/Edward Street and accessed from the Dunbar Link.

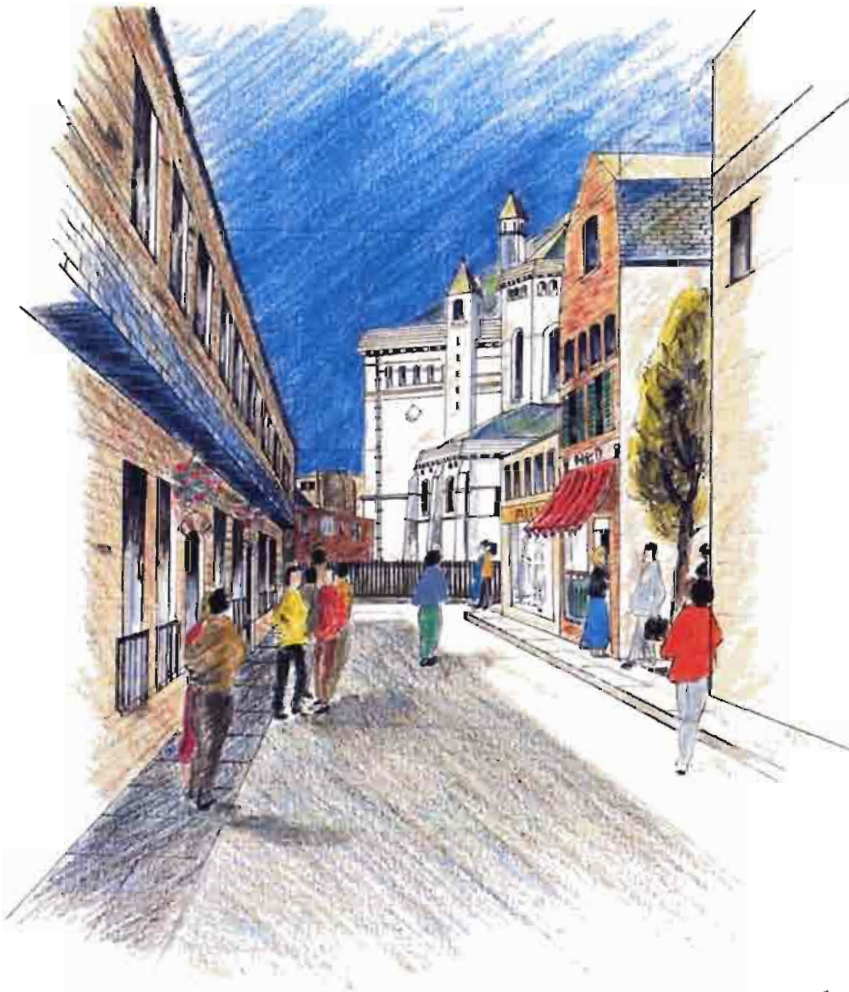
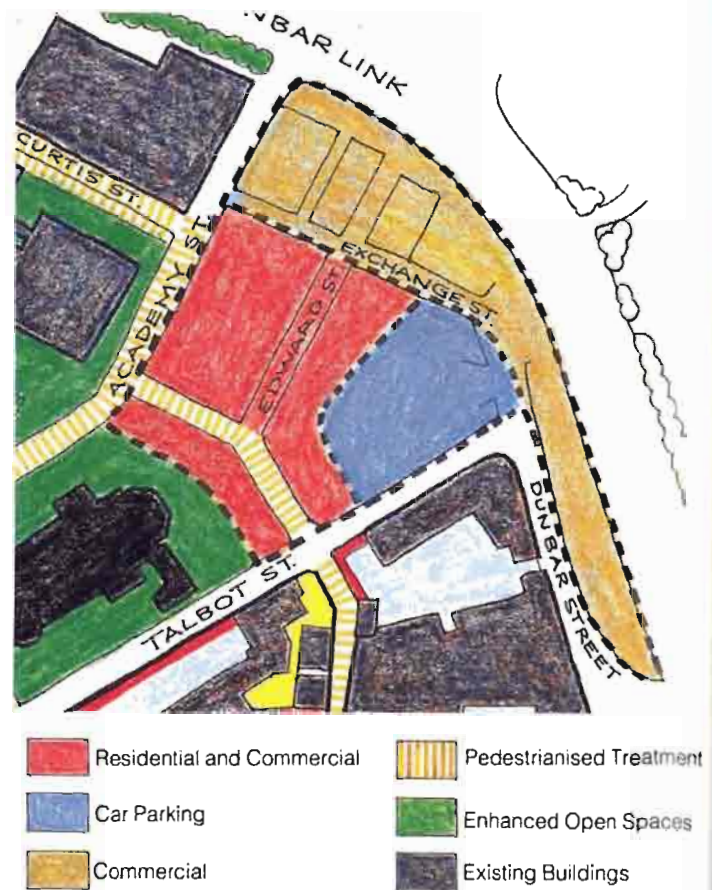


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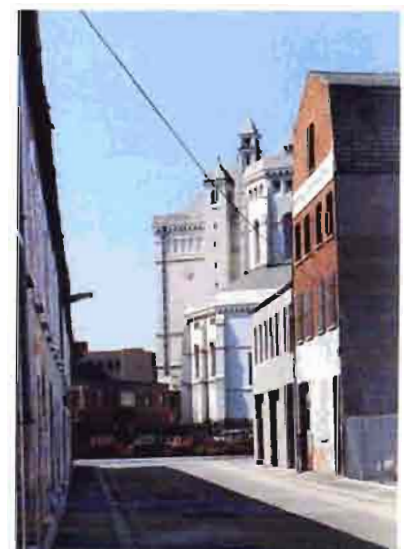
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3. The Department will encourage redevelopment on sites adjoining the Dunbar Link. Buildings should be set within a framework of planting and environmental works to create an attractive boundary to the Conservation Area and to the City Centre viewed from its northern approaches.
4. The Department will consider pedestrianising Exchange Street West and Academy Street as far as Curtis Street. At Curtis Street the removal of cars from the area around the Faculty of Art and Design Building would provide an opportunity to design a major pedestrian entrance into the Conservation Area from York Street.

The traditional granite sett road surface treatment at Exchange Street West will be retained and may be extended into other pedestrianised streets as appropriate.

5. Redevelopment of land between Edward Street and Talbot Street should provide for improved pedestrian movement along Talbot Street. Pedestrian crossing points into Laganside should also be identified as part of the environmental improvement of the Dunbar Link.
6. If necessary the Department will consider using its comprehensive development powers to assemble land, to promote suitable land uses and to rationalise car parking and access arrangements.



2

- 1 Views of the Cathedral give scale and character to the area.
2. Tower detail on the Education and Library Board Building.
3. The imposing façade of the Education and Library Board Building could provide the focal point to an enhanced area.
4. Opportunity to landscape and provide pedestrian focus exists along the Dunbar Link.



3



4

3. Hill Street/Gordon Street

The restoration of a variety of small scale business activities and a busy pedestrian environment is the key to regeneration in this part of the Conservation Area.

An opportunity exists to create a new mix of land uses including shops, restaurants, offices and housing in an historic setting. These uses would complement the main City Centre shopping and office areas in a distinctive environment. Success would act as an important stimulus to regeneration of the wider area including Waring Street and Donegall Street.

There are also opportunities to extend the pedestrian network in the area by opening up existing private entries leading to under-used land behind the main street frontages. Com-



1. Hill Street looking north.
2. Shops, restaurants and street furniture are an integral part of the pedestrian environment.
3. Window bar patterns and the use of exposed steel beams are traditional elements in the area.
4. Paving setts to be retained.
5. Potential courtyard development creating additional shopping frontage. See A on map.



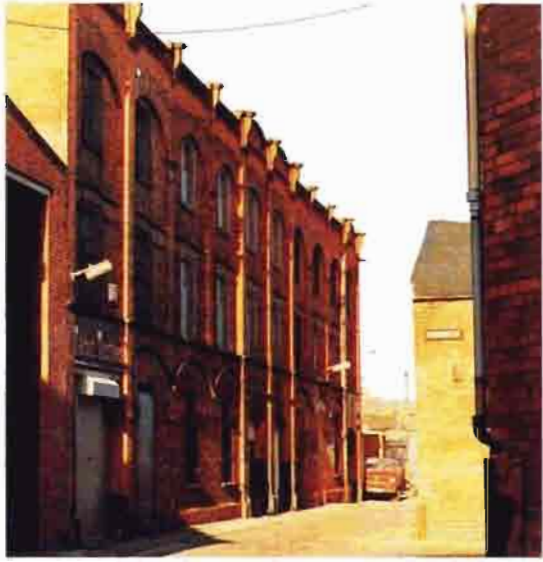
mercial development along suitably enhanced pedestrian routes would attract people and develop the character of the area.

The triangular block of property formed by the Hill Street, Gordon Street and Waring Street frontages could be serviced from a central space within the block accessed off Waring Street.

This enclosed central space could also link Gordon Street and Waring Street via a new network of pedestrian entries to Exchange Place and Commercial Court at Hill Street. A similar acquisition centred on Warehouse Lane could provide parking and access off Waring Street for development on Hill Street, Donegall Street and Exchange Place.

Donegall Street Place could perform an important function by linking Hill Street and Gordon Street directly to the pedestrian route through North Street Arcade to Royal Avenue. This would provide the most direct route to Hill Street from the proposed Cathedral open space. In the longer term it would also provide direct pedestrian access via Gordon Street across the Dunbar Link to Laganside.





1

The Department will:-

1. consider the use of comprehensive development powers to develop under-used land at Hill Street/Waring Street/Gordon Street and at Hill Street/Donegall Street;
2. encourage conversion of existing buildings and the redevelopment of vacant sites to accommodate a variety of new uses provided development is in character with the Area;
3. consider pedestrianisation of Hill Street, Gordon Street and the entries at Commercial Court and Exchange Place;
4. consider the use of its comprehensive development powers at Donegall Street Place/Hill Street to secure the satisfactory redevelopment of this area including a new pedestrian route from Hill Street to Donegall Street.

In order to enhance the character of the proposed pedestrian routeways through the Area the Department will consider:-

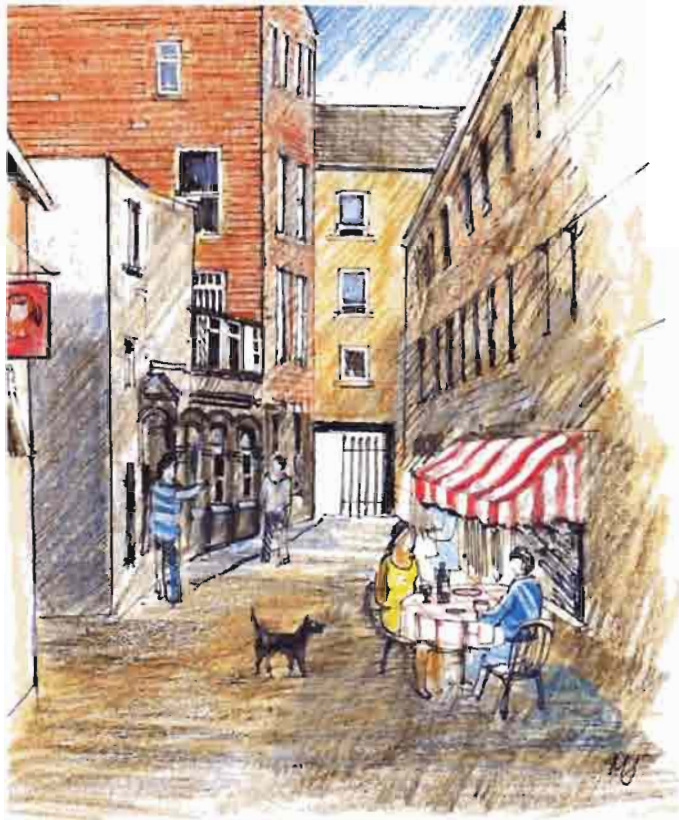
1. the use of appropriate road surface treatments to enhance the streets;
2. the introduction of appropriate lighting and street furniture throughout the Area.

Particular attention will be given to the design of entrance points into this part of the Conservation Area and to the possibility of using a combination of road and footpath treatments, flood-lighting, street furniture and signing.



2

1. Victorian red brick 3-storey warehouse at 42-55 Hill Street.
2. The junction of Hill Street and Waring Street, showing redeveloped corner site and pedestrian treatment.
3. The narrow entries provide pedestrian character, interest and a sense of history to the area.
4. The entrance to Gordon Street could become an important pedestrian link from Laganside.



3

The Locations include:—

1. Hill Street at Waring Street:

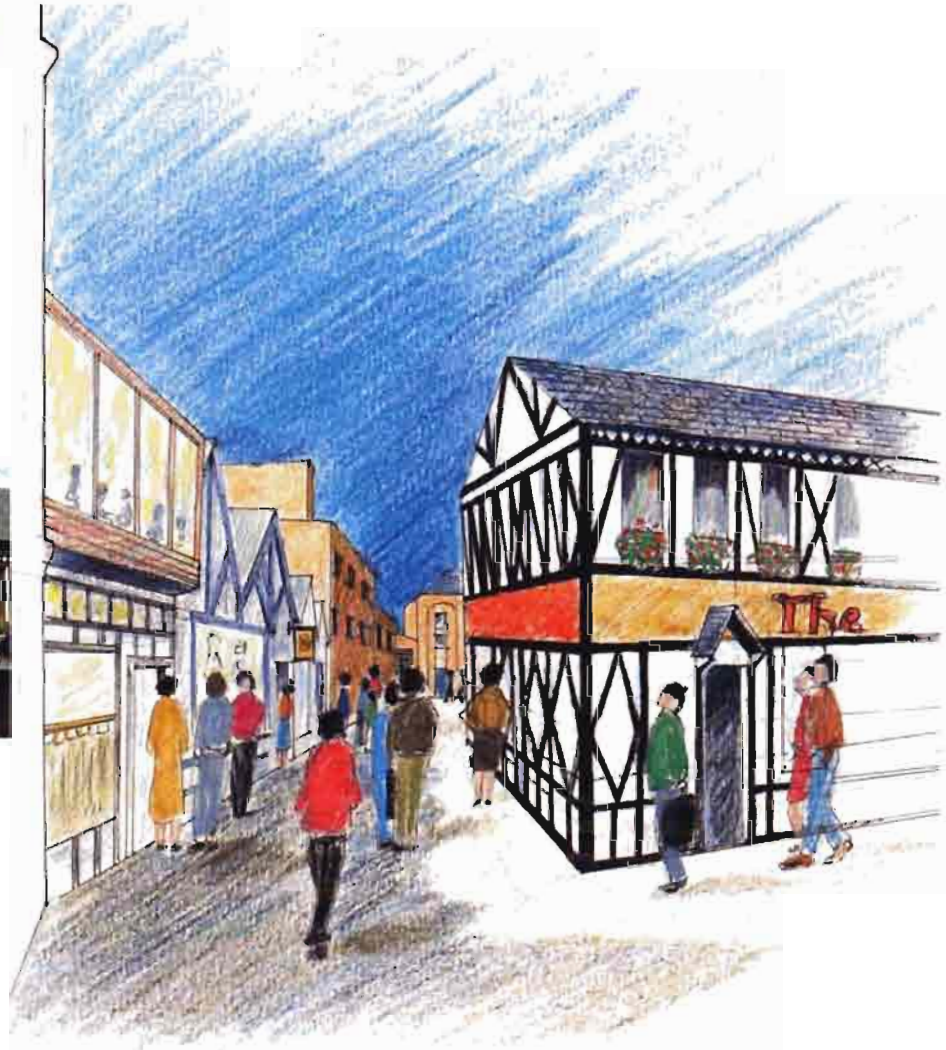
Here the Department will encourage redevelopment on vacant land on both corners of the junction.

2. Gordon Street at the Dunbar Link:

The Corn Exchange and adjoining buildings are visually prominent from the Dunbar Link. The Department will encourage new development and consider the implementation of the entrance treatments already outlined.

3. Hill Street at Talbot Street:

Property in City Council and NIE ownership at this junction requires to be upgraded in keeping with the new image of the Area. The adjacent Exchange Street West junction with Talbot Street could also be enhanced as part of the Cathedral Environs and Edward Street proposals.



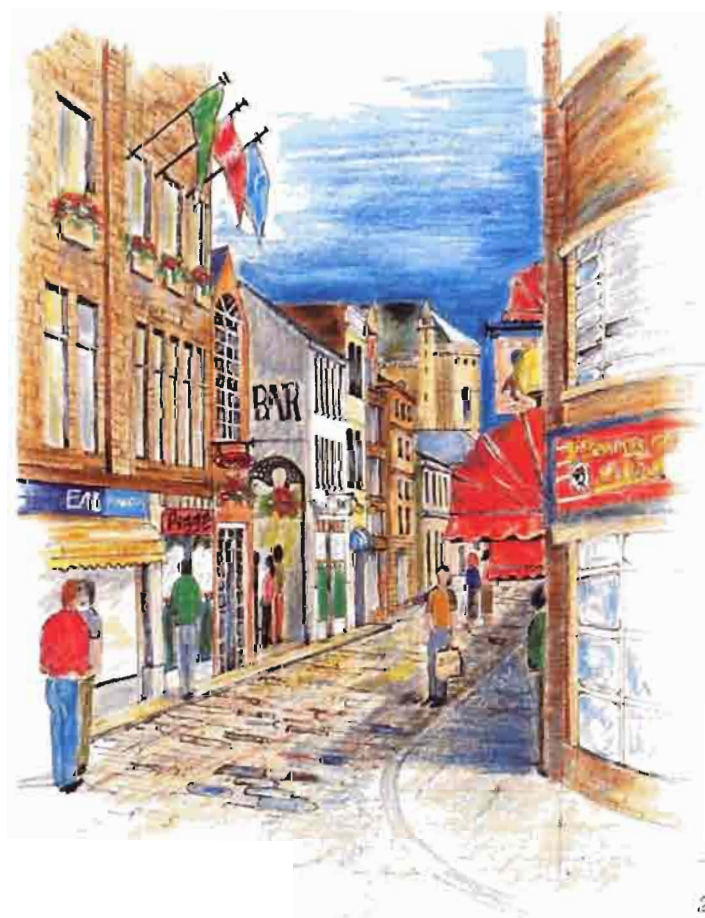
4

4. Waring Street/Skipper Street

In Waring Street there is considerable scope for private sector investment in redevelopment of vacant land. There are also opportunities to signpost the Conservation Area on the Waring Street/Victoria Street Corner and at the Skipper Street/High Street corner.

The Department will consider the possibility of:-

1. carrying out environmental improvement works including footpath treatments, street furniture and new lighting along the length of Waring Street.
2. upgrading the public space on the Victoria Street corner of Waring Street to highlight this important entrance to the Conservation Area. Private sector redevelopment of the car park at this location will also be encouraged.
3. enhancing the public space fronting the Victorian buildings at 41-43 Waring Street and the adjoining Ulster Bank and Ulster Buildings. Flood-lighting and façade cleaning will also be encouraged here.



1. A potential development site for a building to define the corner of Waring Street and Victoria Street. See A on map.
2. The enhancement of Skipper Street will upgrade the pedestrian environment.
3. The wide expanse of Bridge Street is broken into attractive visual corridors by the use of tree planting.

The Department will consider pedestrianisation of Skipper Street and the provision of new lighting, street furniture and street paving. The High Street entrance to Skipper Street could also be enhanced through appropriate treatment of the public spaces. Façade renovation of the Imperial Buildings will be encouraged.

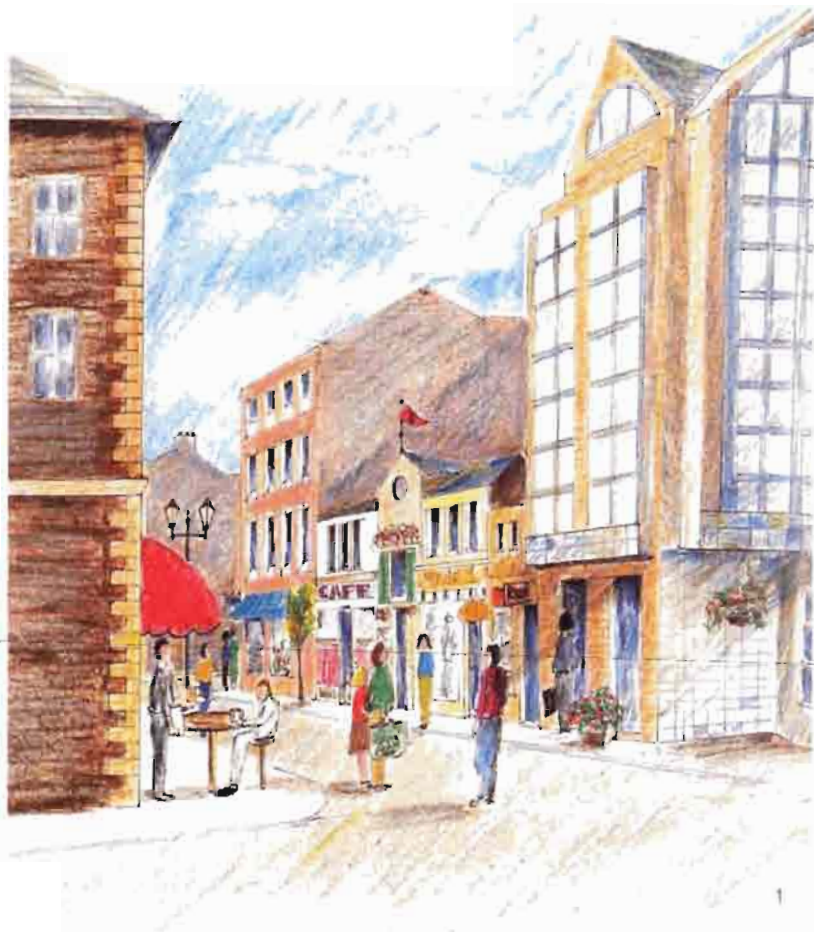
The Department would welcome proposals for the positive use of the car park area to the rear of River House. Vehicular requirements at present create unattractive gap sites in the Skipper Street and in the Waring Street frontages. A scheme could be linked with the re-opening of Sugarhouse Entry and the new museum use proposed for the War Memorial Building.

4. Waring Street/Skipper Street

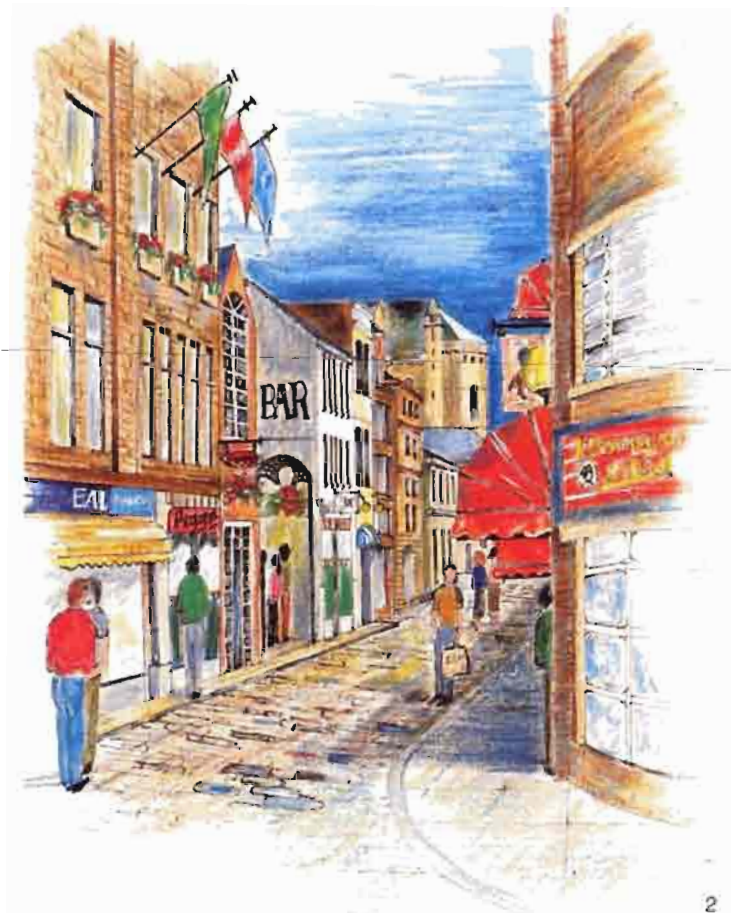
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5. The Four Corners






The 'Four Corners', the space formed at the junction of Waring Street, North Street, Bridge Street and Rosemary Street was for many years the centre of the town and remains potentially one of the most interesting and attractive locations in the city.

The impact of renovation is already to be seen along the North Street façade adjoining the Exchange Building. This frontage presents a range of building styles dating from the end of the 19th Century to the 1960's. The Victorian building at 11 North Street and the Mercantile Chambers, 7 North Street, a 1960's building with concrete and tile detailing, have achieved a substantial improvement in the appearance of the street frontage. The impact of environmental improvement of the public spaces is also evident.

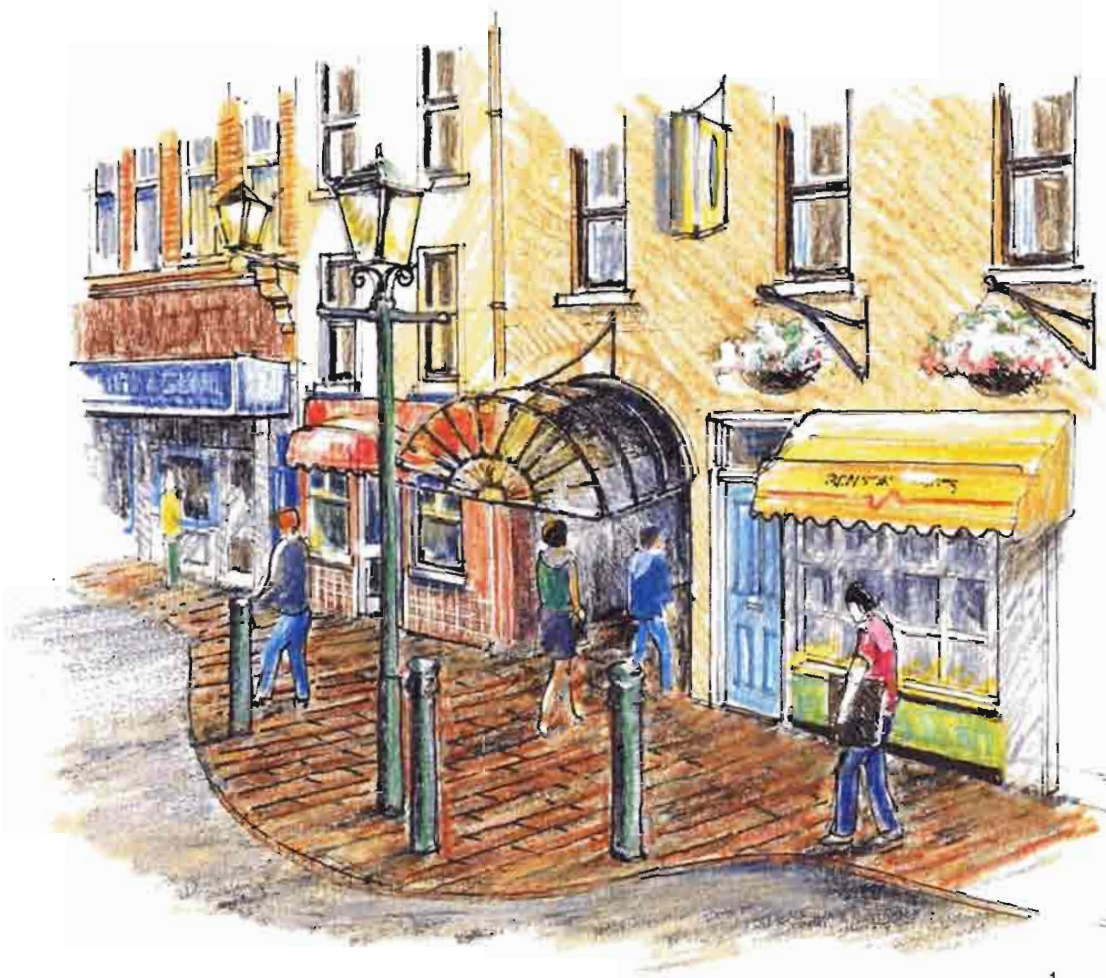
The opportunities for enhancement include:

1. façade renovation of existing buildings with improvement of signage;
2. redevelopment of the site between 16 Donegall Street and the rear of the Northern Bank;
3. further environmental improvement of the public spaces.



-  Enhancement Opportunities
-  Important Development Sites
-  Potential Enhancement Spaces
-  Pedestrianised Treatment
-  Existing Buildings





1

These three aspects in combination could have a dramatic effect at the southern end of Donegall Street. Here the space created by Northern Whig House can be enhanced by improvements to the Victorian buildings at 1 and 3 Donegall Street and by further extending the environmental improvements at Bridge Street into Donegall Street and Waring Street. Flood lighting of Northern Whig House and the Northern Bank, both listed buildings, is also desirable.

Other potentially attractive buildings needing external renovation include 16-18 Donegall Street, a pair of Victorian shop buildings. The signage on the adjoining brick buildings and the Donegall Street frontage of the North Street arcade require similar action. On the opposite side of the street the entrances to the Hill Street area via Commercial Court and Exchange Place should be highlighted by a combination of street furniture, lighting and surface treatments which draw attention to these important pedestrian entrances.

The Department will actively encourage and support private action to renovate façades and to carry out appropriate alterations.



2

1. Opportunities exist to create pedestrian local points at the openings of entries onto the main streets.
2. An excellent refurbishment in traditional style, of this gable fronted property in North Street
3. Decorative roof detail in North Street Arcade.
4. The potential of retail outlets and street furniture to environmentally upgrade disused yards and passages.

Development Guidelines

The need to appreciate and conserve the existing built environment does not exclude new development. Some parts of the Conservation Area will, in fact, be extensively redeveloped. The intent in this guide is therefore to provide policies which will accommodate flexibility in design consistent with the maintenance and improvement of the essential character of the Conservation Area.

The role of development control is detailed in Appendix II. However, developers should note that the consent of the Department is required to demolish unlisted buildings in addition to listed buildings, within the Conservation Area.

New Development

It is impracticable to give design guidance relating to every situation which might arise. However broad principles can be established. Regardless of the approach chosen new development should seek to complement the existing in terms of scale, form, proportion, massing and elevational treatment.

Refurbishment and Conversion

The refurbishment and conversion of existing property is an important way to increase the range and variety of land uses in the Conservation Area. Developers will be encouraged to pursue this course and to place emphasis on the restoration of the individual architectural character of each building.

Developers will have to satisfy the Department that conversion and refurbishment of a building is not economically viable before redevelopment is considered. The Department will also encourage the retention where possible, of characteristic Victorian façades which are important in the street scene.

General design guidelines for development within the five locations indicated in the enhancement strategy are outlined below.



3

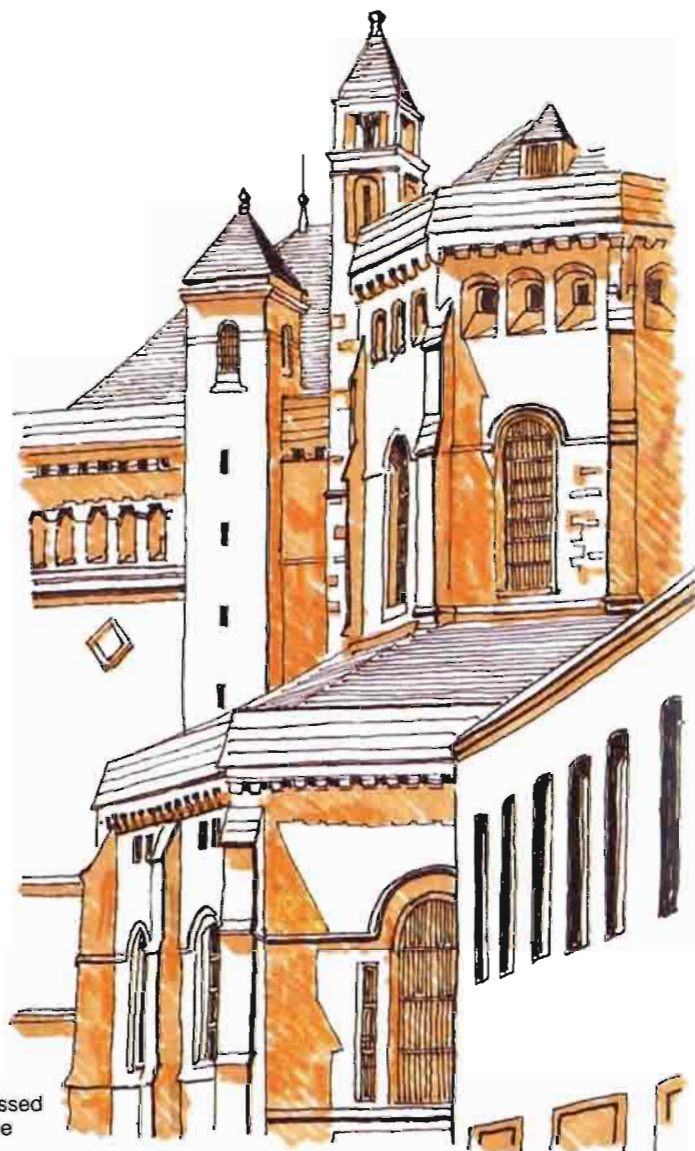


4

Development Guidelines

The Cathedral Environs

1. The Department proposes to create a major open space which will enhance the setting of St Anne's Cathedral and remedy the deficiency of open space in the City Centre.
2. New buildings must respect the setting of the Cathedral.
3. Building heights should be related to the proposed open space area, to the heights of adjoining buildings and to the existing street scene.
4. The use of quality building materials is essential as is the considered use of colour where appropriate, to ensure that new buildings complement and enhance the Cathedral setting.



1. Pointed towers and buttressed stone pillars emphasise the Cathedral's vertical form.

1

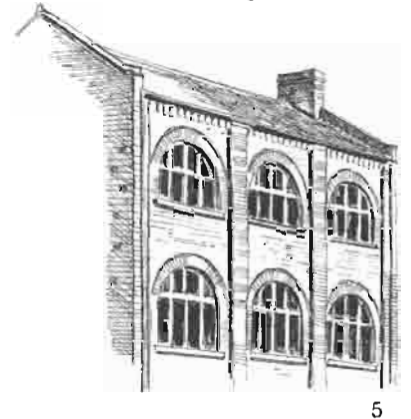
Edward Street/Dunbar Link

1. The siting and scale of new development should allow vistas of the Cathedral and should have regard to its visual dominance.
2. Housing could form a major part of the future land use in the area which may also include small businesses, retailing and multi-storey car parking.
3. Development should be of a domestic scale with building heights ranging between two and four storeys. A vertical emphasis in elevations and detailing is also appropriate in keeping with buildings in the surrounding area.
4. Roofs should be slated and pitched and should avoid long unbroken horizontal stretches. Chimneys and pitched dormers could be used to create visual interest in roofs.
5. Materials used in existing buildings such as stone, timber, brick and slate are considered to be the most appropriate for use in new development. Where brick is used the opportunity should be taken to include architectural details and features similar to those found on existing buildings in the Area.
6. The use of concrete, glass or steel may be appropriate in some locations within the Area where they do not introduce a discordant element.
7. The Department may prepare design briefs for individual sites where appropriate and particularly if land is assembled as part of a comprehensive development scheme.

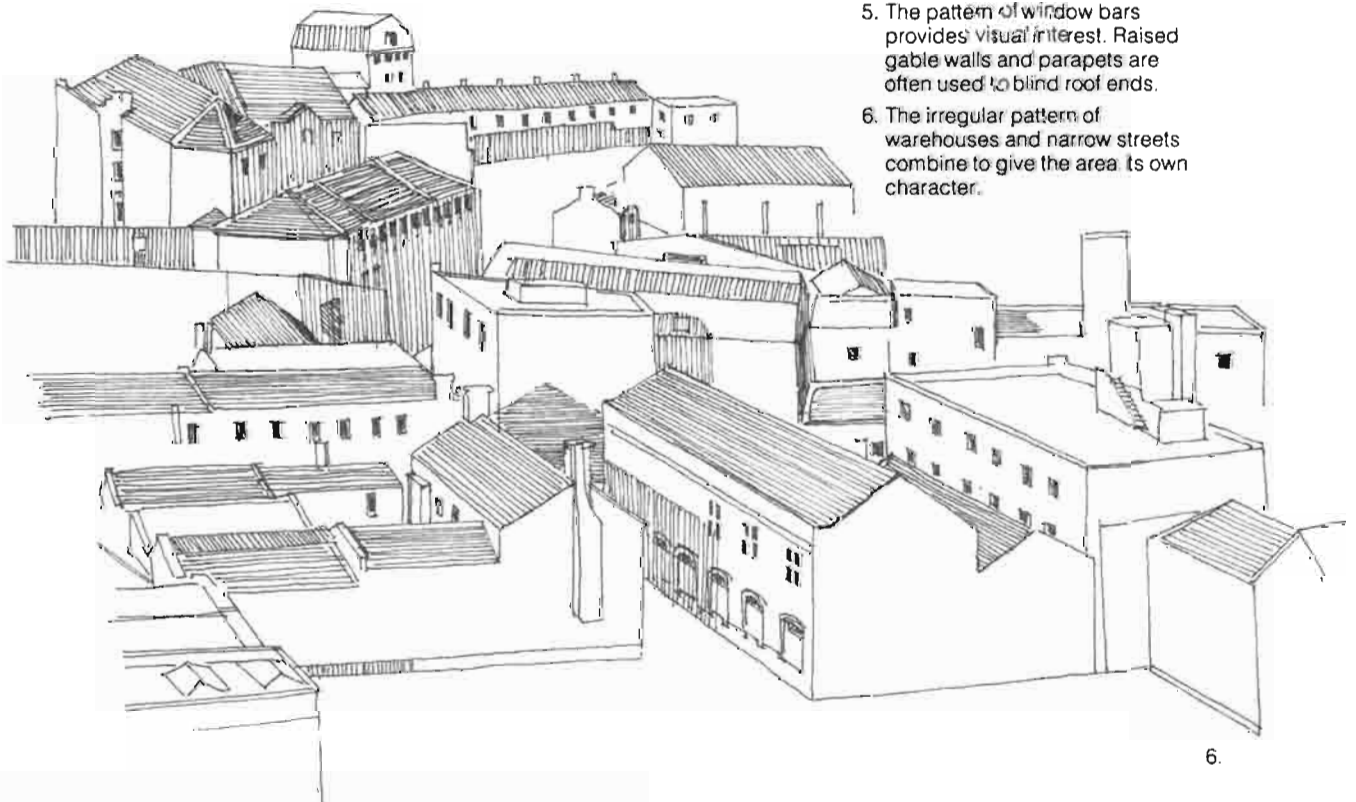
Hill Street/Gordon Street



1. The emphasis in the area should be on the introduction of new uses into existing buildings. Appropriate uses include shops, offices, restaurants, residential and small businesses.
2. Where redevelopment is essential new buildings must respect the existing scale. They should be between two and four storeys in height with pitched slated roofs. Gables fronting onto the street are appropriate in some locations.
3. On wider sites the scale of the new buildings should be reduced by appropriate sub-division.
4. Some existing buildings contain good examples of corbelled brick and other detailing typical of Victorian warehouses. New developments should reflect these traditional details and brick should be the main building material.



2. Modern office development which uses the materials and shapes found in the area to create an exciting new building.
3. Gabled loading bays, reflect the history and character of the area.
4. Over-hanging brick arches above windows and raised string courses are typical details.
5. The pattern of window bars provides visual interest. Raised gable walls and parapets are often used to blind roof ends.
6. The irregular pattern of warehouses and narrow streets combine to give the area its own character.



The Four Corners

1. A wide range of different architectural styles is characteristic of this part of the Conservation Area. This freedom can be maintained in new development provided the scale and the vertical rhythm of the existing street frontage is respected.
2. The general height and mass of new buildings should be in scale with surrounding buildings.
3. Development should generally be at least three-storey in height and not exceed a maximum 15m eaves height.
4. Materials used on individual buildings should be limited in number. Where possible elevational detailing on existing buildings should be reflected in new façades.

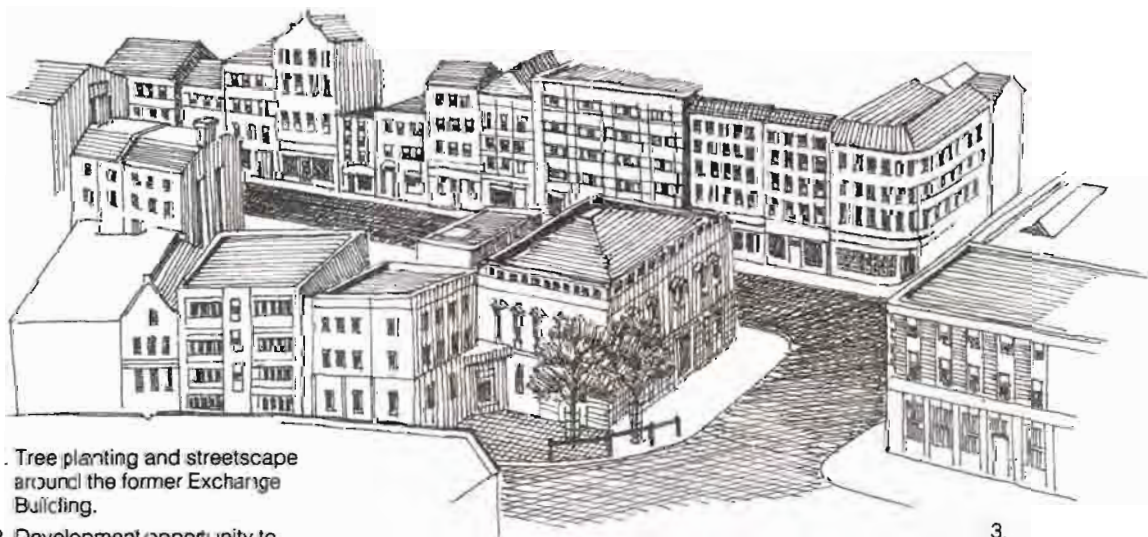


2.

Waring Street/Skipper Street

The general guidance outlined for the 'Four Corners' is applicable to this area. The following points should also be noted.

1. At the Hill Street/Waring Street junction the 4-5 storey building height on Waring Street should reduce to a maximum three storeys on the Hill Street return.
2. New development on the existing vacant site on the Victoria Street corner should be of a scale which reflects the importance of this location as an entrance to the Conservation Area.



3.

1. Tree planting and streetscape around the former Exchange Building.
2. Development opportunity to restore the frontage in Donegall Street.
3. The Four Corners.

Development Guidelines

Shop Fronts

Attractive shop fronts and building façades are themselves an important advertisement for an area and enhance its overall character. In its consideration of shop fronts the Department will seek:—

1. to promote the individual character of buildings;
2. a better balance between the visual amenity of the Area and the need of business to advertise effectively.

Without careful attention the effect of introducing a new shop front is to give visual dominance to the ground floor in a way which separates this area from the rest of the building and degrades the building's architectural value.

The problems which can arise include:—

1. The fascia may be too large, obscuring first floor windows and pilasters and appearing to extend over the building façade instead of being contained within it. A visual break is created between ground and upper floors.
2. The use of inappropriate materials or colours in shopfronts can give rise to a visual break between upper and lower storeys of the building. Visually the original façade is detached from its base and appears to sit above an entirely different ground level building.



4

3. The horizontal break between floors is intensified where poor design of individual shopfronts is repeated along the frontage and where fascias run through a number of properties to form a continuous horizontal element.

In dealing with these problems there are two important stages in achieving a satisfactory solution:—

1. Shop fronts and fascias should express and not obscure the structural elements of the existing façade in their design.
2. The new elements must complement the existing elevation in terms of materials used, their quality and in the use of colour.

The details of proportion, of solid to void and of structural elements, can be lost if inappropriate materials or strident colours are used on shop fronts.

4. This potential shop front conversion reflects the materials and structure of the upper floors, giving unity to the whole façade.
5. A traditional refurbishment which respects the building's intrinsic architectural character.



5

Provided shopfronts and signage are contained within the individual building elevation and respect its character then uniformity of design with other shops is not usually desirable. Variety in shopfront treatments with differing window designs, stall riser heights and fascia boards will add to the visual interest in the area.

The following design points in relation to shopfronts are commended by the Department:-

1. A new shopfront can be traditional or modern provided the complete front including display, entrance, surround, sign and lighting is considered as one single composition. It should not be a dominating influence in the street scene but should look correct within its own building and in relation to its neighbours.



1. The architectural rhythm of a building can be spoilt by the use of large fascia boards and cladding.
2. The use of columns on the narrow frontages gives a vertical emphasis which is characteristic of the area. Windows proportionately diminish in height and all horizontal elements are softened by the use of decorative plaster details.
3. Removal of incongruous plastic cladding reveals the original architectural style.

2. The fascia should be contained within the elevational detailing of the building. It should extend up to, but not over, the pilasters.
3. The fascia should not obscure first floor window and string course detailing. It should be of suitable proportions and positioned to make a contribution to a visually balanced elevation.
4. The structural elements and proportions of the elevation should be carried through to the ground floor. Large glass areas can be sub-divided to achieve this effect without loss of display area.
5. Buildings designed to accommodate several shop units may merit an element of co-ordination in signage, lettering and colour treatments. The individual shops should be visually contained within the elevation and the horizontal break between units maintained. The whole building can be set off to maximum advantage in this way to the greater benefit of the individual shops.

New Materials

The use of new elevational elements and materials can have a dramatic effect on building elevations and frequently determines whether or not a new shopfront or sign fits into the facade or instead dominates and disrupts it.

The colour, pattern and texture of materials is in many cases the difference between success and failure in shop front design. The use of modern plastic materials which are brightly coloured or have strongly moulded profiles is rarely successful and should be avoided. The use of tiles and mosaics which are strongly patterned and contrast strongly with traditional materials used in older buildings should also be avoided.

Where security is of concern perforated security shutters, which secure the premises while permitting an element of display and vitality in the street scene, must be used.

Security shutters should normally be located internally between the window and the display and painted to complement the shop façade. Their use externally may be acceptable in some locations provided the materials, colour and design are to the Department's satisfaction.

Shutter boxes must be concealed within the building elevation and guide rails recessed into window reveals. Projecting shutter boxes will not be permitted.



3

Development Guidelines

Advertisements and Signs

Advertisements and signs have a significant effect on visual amenity. The number and type of sign, their size and degree of illumination all affect the appearance of the building.

The proportions of a sign must relate to the elevation on which it is mounted. If a sign is too large its visual dominance will disturb the balance of an elevation and the relationship of one building to another. Box signs that project from the building face are also disruptive.

The Department's policy is aimed at ensuring that signs are a considered element of the elevation rather than a mere after-thought and that their design, proportions and materials are appropriate to their surroundings.

The amount of information on a sign board and the number of advertisements on individual business premises should be strictly limited to avoid visual clutter and confusion.

The vitality and character which illuminated signs bring to the City Centre at night should be balanced against their visual impact on the building elevation in daylight.

Illumination by bracket or wash lighting will be acceptable but internally illuminated fascia signs will not normally be permitted. When illuminated they detract from the proportions of the building. With rare exceptions their construction and materials are such that they have a poor visual quality.

The use of hanging signs will be encouraged. Their dimensions and those of projecting signs should be appropriate to the height of the building and the details on the frontage.





While hand-painted signs are preferred, signs consisting of self-illuminated individual letters on an opaque background will normally be acceptable. Other modern techniques such as silk-screen printing may also be acceptable. With hand painting, gold leaf or light colour applied to a dark background will reflect light and can be easily read.

Signs on brickwork and stonework are most satisfactory when individual wall-mounted letters of appropriate height, colour and type-face are used. If the letters are backlit a three-dimensional effect is produced. Hand painted signs on front walls and gables will be permitted in appropriate locations but they should relate to the premises on which they are applied and not be standard printed signs. Hoardings have a particularly detrimental effect on visual character and will not normally be permitted either in the Conservation Area or on approaches to it.

As a general rule advertising signs will not be permitted above ground-floor level unless relating to the use of the upper floor. On upper floors black, white or gold lettering applied directly to window panes is effective. Where signs concerning uses on upper floors are required, the Department would encourage the use of name plates at the entrance door. In circumstances of multiple use, a standard size and shape of name plate should be used by all occupants.

National chain stores, Building Societies, Banks etc may be required to modify or adapt their 'house-style' so that any signs erected by them will be in keeping with the character of the Conservation Area or the façade of a Listed Building.

1. A variety of good signage, fascia boards, plaques and hanging signs, all of which contain attractive lettering at an appropriate scale.

Appendix I

Listed Buildings	★	
18, 20 and 22 Hill Street, Belfast	26/50/154	A 2-storey, 5-bay stucco building with coach arch. Window openings are segmental or segmental pointed. There is an ornamental head above the coach arch and decorative roundals are set between ground floor openings.
Bank of Ireland 62-68 High Street, Belfast	26/50/50	A 4-storey building of red brick and terra-cotta construction. <i>Architect:</i> William Batt
News Letter Office 51-61 Donegall Street, Belfast	26/50/59	A 3-storey stucco building with octagonal tower and spire. <i>Architect:</i> William Hastings
Northern Bank and 113 Royal Avenue, Belfast	26/50/66	A 4-storey ashlar sandstone building columned on first floor. <i>Architect:</i> John Lanyon
103/107 Royal Avenue and 77-79 North Street, Belfast	26/50/68	A curved 4-storey corner block, shopped on ground floor. Corinthian aedicules at first floor. <i>Architects:</i> Thomas Jackson & Son
Ulster Bank Head Office Waring Street, Belfast	26/50/58	<i>Architect:</i> James Hamilton, Glasgow <i>Sculptor:</i> Thomas Fitzpatrick
Northern Whig Building Waring Street, Belfast	26/50/60	<i>Contracting Architect:</i> John McCutcheon Formerly Commercial Buildings.
The Northern Bank Waring Street, Belfast	26/50/61	<i>Architect:</i> Charles Lanyon Formerly the Exchange and Assembly Rooms (built 1769).
St Anne's Cathedral Donegall Street, Belfast	26/50/67	Erected on the site of the old parish church of St Anne.
5-23 Hill Street, Belfast	26/50/156	A 2-storey, 11-bay stucco building with segmental-arched windows, entrance and coachway all in classical manner with surmounting machicolated entablature.
Former Corn Exchange Victoria Street (between Waring Street and Gordon Street) Belfast	26/50/173	A plain 2-storey building with shops below a lofty first floor hall, erected by a company of the grain merchants of Belfast. Built of freestone, rusticated and pilastered with a very tall Renaissance loopwork parapet and an Ionic in antis porchway. <i>Architect:</i> Thomas Jackson
30 Waring Street and 10-14 Skipper Street including gates, railings, plinth wall, pillars, steps and window railings. Belfast	26/50/58B	The block adjoining the Ulster Bank, Waring Street at 33 Waring Street and 10-14 Skipper Street comprises the Ulster Buildings by Thomas Jackson & Son 1869-70 with an addition in Skipper Street by Blackwood and Jury 1929. These buildings are of special architectural interest in their own right but their importance is greatly enhanced by their relationship with the main building. The design of the buildings has been carefully conceived to provide a muted accompaniment to the exuberance of the main bank.
27-37 Talbot Street, Belfast	26/50/193	A 4-storey red brick building with the front elevation divided into unequal bays by pilasters rising to finials at roof level. First floor windows are round headed. The southernmost section rises to an elaborate shaped parapet gable.

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Appendix II

The Role of Development Control

Development within the Conservation Area will be controlled with the primary aim of ensuring the retention of all that is important to the Area's character. Important buildings and groups of buildings which contribute to the Area's character will be protected.

This control will be exercised as follows:-

1. Where permission is sought to demolish or alter a building which has been 'listed' under the Planning (NI) Order 1972 as being of special architectural or historic interest, it will be necessary to demonstrate that such works would in themselves be an enhancement, or that they are required for overriding and exceptional reasons relating to the development of the Area.
2. Under the terms of The Planning (Amendment) Northern Ireland Order 1978 (Part II Article 4) the consent of the Department is required to demolish any building within a Conservation Area which is not already protected by other means.
3. New buildings will be expected to take account of the character of their neighbours. They should, in mass and outline, be sympathetic to the rhythm of the street scene.
4. Materials should generally be of a quality, texture and colour that are compatible with the character of the Area.
5. Changes of use that are likely to have an adverse effect on land or buildings which contribute significantly to the character of the Conservation Area will not normally be permitted.
6. The creation of new open spaces will be carefully considered to ensure that they make a positive contribution to the Conservation Area, and that proper provision is made for their maintenance.
7. Consent to display advertisements generally requires an application under the Planning (Control of Advertisements) Regulations (NI) 1973 though certain classes of advertisement may be displayed without express consent. Applications for consent will be judged on the positive effect they make to the visual character of the Conservation Area.
8. The Department will normally expect planning applications in respect of sites or buildings within the Conservation Area to be submitted with full details showing clearly in plan and elevation, relationships to adjoining buildings, in order to ensure at the initial planning stage that the development is satisfactory in all respects. It is desirable therefore that applicants should consult informally with the Divisional Planning Office prior to the preparation of detailed plans.
9. Development near to (but not within a Conservation Area) and visually related to it, will be required to be sited and designed in size, form and materials to be in harmony with the buildings and general appearance of the Conservation Area.
10. Under the terms of the Planning (General Development) Order 1973 certain types of development do not require specific planning permission. However, the Department has power under Article 4 of that Order to direct that in any particular area, these types of development must require the grant of planning permission. Such directions may be applied within this Conservation Area.

Development Control and Environmental Objectives

The Department in exercising its planning functions within the Conservation Area will be guided by the following objectives:-

1. to safeguard the physical fabric of the Area from neglect and decay and to prevent insensitive development and redevelopment;
2. to enhance the intrinsic character of the Area, and to set off its features of merit;
3. to protect and enhance views into and from the Conservation Area;
4. to ensure that changes of use where they occur are appropriate and in sympathy with the purpose for which the building was originally constructed;
5. to protect the general amenity of the Conservation Area by discouraging development which generates excessive vehicular activity, noise or other nuisances and would put at risk the continuing occupation of neighbouring properties;

6. to enhance the visual amenity of the Area by encouraging the removal of all unnecessary overhead wires, wires on building elevations and street clutter and by encouraging proper maintenance of all areas of hard and soft landscaping;
7. to stimulate awareness of the importance of conservation and to encourage local input and support for conservation policies.

Listed Buildings

The statutory 'listing' of buildings is intended to protect them from the effect of undesirable development because of their special architectural and historic interest and Listed Building Consent is required to carry out any work on them.

The detailed development guidelines, normally applied by the Department in its consideration of development proposals affecting such buildings, cover such matters as the shape, size and number of chimneys, roof shape and detailing, windows and doors. Other features such as balconies, steps, railings and boundary walls which contribute to the charm and character of a Listed Building should also be conserved. In certain circumstances the interiors of these buildings may also be an important part of the 'listing'.

Extensions to Listed Buildings may be acceptable either in the form and character of the parent building or as a totally different but high quality design.

Details of all Listed Buildings contained within the Conservation Area are set out in Appendix 1.

Development by Public Agencies

Services

As renewal of overhead electricity and telephone services becomes operationally necessary as much as possible should be undergrounded. What must remain should be redesigned in as unobtrusive a way as possible.

New developments and conversions will be required to have internal ducting so that multiple service entries and connections are unnecessary. All sub-division to co-occupiers should take place within the building fabric.

Streetscape and Street Furniture

Within the economic constraints set on public expenditure the Department would seek to ensure that, in the replacement of footways and road surfaces, materials are selected which are both practical and improve the environmental quality of the area.

The Department will have particular regard to the management of pedestrian and vehicular traffic movement in the interests of the amenities existing in the Conservation Area. Provision for the parking of motor vehicles will be carried out in such a manner as to have minimum effect on the character of the Area.

Street furniture includes signs, street lighting, litter bins, bollards and seating. As these items come up for renewal or additional installations are required, careful attention will be paid to their design. Criticism of street furniture tends to relate to the quality of individual items and to the lack of an overall coherent style or visual theme in their design. This arises from the fact that the responsibility for erecting and siting of various items of street furniture lies with a number of bodies each with different priorities and concerns. Emphasis will therefore be placed on a coherent style and a high quality product which reflect the character of the Conservation Area.

It is important that all items of street furniture are well maintained: shabby and neglected items can seriously detract from the appearance of the general environment. All public agencies will be encouraged to replace unsympathetic items of street furniture.

The Department will therefore implement or encourage, as appropriate, the following:-

1. Minimise the number of traffic signs and ensure that those which are necessary are designed and positioned in a way which makes minimal impact on the visual amenity of the Area;
2. Replace inappropriate lamp standards with a design more in sympathy with the historic character of the Area. In circumstances where this might not be possible consideration will be given to mounting lighting units on the façades of buildings (subject to agreement between the Department and the property owner). The use of flood-lighting at night can be particularly effective and building owners may be prepared to make a financial contribution in this respect;
3. Locate telephone and other junction boxes as unobtrusively as possible and integrate them into existing features where practicable;
4. Devise a common colour scheme for all apparatus, lamp standards, litter bins, bollards, etc.

Financial Assistance

Financial assistance, for schemes within the Conservation Area, is available from a variety of sources outlined as follows:-

1. Department of the Environment (NI)

The Department may give financial assistance towards the cost of repairs or maintenance of buildings which have been 'listed' as being of special architectural or historic interest. There is no fixed rate of grant and each case is considered on its merits.

The Department may also consider for grant aid, expenditure to be incurred in connection with the preservation or enhancement of a Conservation Area. Such expenditure is normally expected to be part of a co-ordinated scheme.

Further details may be obtained from:

Historic Monuments and Buildings Branch
(in the case of listed buildings)
Department of the Environment (NI)
Calvert House
23 Castle Place
Belfast BT1 1FY
Telephone: Belfast 230560

and from

The Belfast Divisional Planning Office
(in the case of unlisted buildings within a Conservation Area)
Bedford House
16-22 Bedford Street
Belfast BT2 7FD
Telephone: Belfast 242486

2. Department of Education

District Councils have a duty to secure for their areas adequate facilities for recreational, social, physical and cultural activities and the approved expenses of a District Council for such purposes may be grant aided under the Recreation and Youth Service (NI) Order 1973.

The acquisition of lands for public open spaces for these purposes may also be grant aided by the Department of the Environment (NI).

Grants up to 75% may be made under Section 16 of the Local Government Act (NI) 1966.

Further details may be obtained from:

Physical Development Branch
Department of the Environment (NI)
Commonwealth House
Castle Street
Belfast BT1 1GH
Telephone: Belfast 321212

3. Northern Ireland Housing Executive

The Housing (NI) Order 1976 enables the Northern Ireland Housing Executive to pay grants towards the cost of improvement and conversion up to certain maximum amounts.

Grants may also be paid to help meet the cost of improving houses by providing for the first time such standard amenities as a fixed bath, wash-hand basin, water closet and hot and cold water supply at certain fixed points.

Grants towards repairs may also be paid. All grants are subject to certain conditions and may be obtained from any office of the Northern Ireland Housing Executive. Such grants do not necessarily exclude historic building grants.

Further details may be obtained from:

Any office of the Northern Ireland Housing Executive.

Headquarters address:

The Housing Centre
2 Adelaide Street
Belfast BT2 8PB
Telephone: Belfast 240588

Local Office:

Home Improvement Service
(Housing Grant)
Equity & Law Building
56 Wellington Place
Belfast BT1 6GF
Telephone: Belfast 240690

4. Charitable Trusts

Charitable Trusts are sometimes willing to help with conservation of buildings in charitable or other non-profit making ownership. The Pilgrim Trust may be prepared to give grants of this sort. The Landmark Trust is interested in purchasing properties of historical or architectural interest which can be converted into lettable holiday houses. They particularly favour buildings of individual character. The Carnegie United Kingdom Trust makes grants to support countryside projects of various kinds. These include schemes for practical conservation but not for the preservation of buildings.

Further details concerning all the above sources may be had from:

Pilgrim Trust
Fielden House
Little College Street
London SW1P 3SH

Landmark Trust
Shottesbrooke
White Waltham
Berkshire

Carnegie United Kingdom Trust
Comely Park House
Dunfermline
Fife

For details of other grant-giving bodies,
reference may be made to 'The Directory of
Grant-Making Trusts' published by the
National Council of Social Services.

1. Waring Street viewed from the
Four Corners.
2. Britannia, Justice & Commerce
surmount the Ulster Bank in
Waring Street.





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Appendix III

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